

LEGEND

- EXISTING ACOUSTIC WALLS TO REMAIN
- NEW 63.5MM STEEL STUD WALLS WITH 9.5MM GIB BOARD TO BOTH SIDES
- FULL HEIGHT SAFETY GLAZING TO NZS 4223
- VINYL FLOORING
- ALL OTHER FLOORS TO BE CARPET
- DESK AND CHAIR
- TWO SEATER COUCH
- CAFE TABLE AND CHAIRS

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CHRISTCHURCH CITY COUNCIL
 P.I.M. APPLICATION
 PROJECT No. 10013756
 CIVIC SERVICES
 Rec'd 16/05/01
 F

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CHRISTCHURCH CITY COUNCIL
 CONSENT DOCUMENT
 19 JUN 2001

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.



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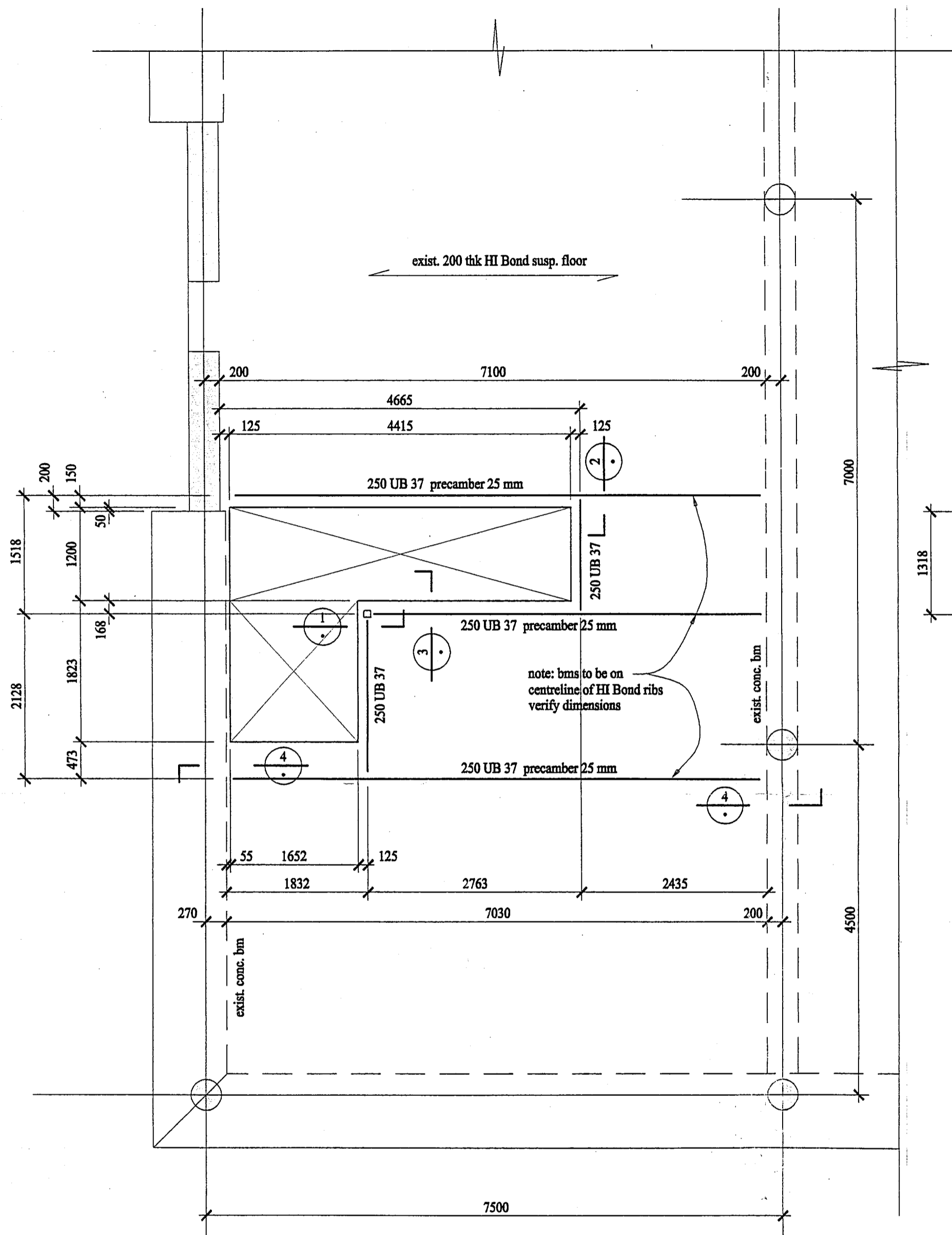
SHEET TITLE
**245-9 MADRAS STREET
 LEVEL TWO**
 FLOOR PLAN
 FURNITURE & FINISHES PLANS

THESE DRAWINGS ARE ONLY TO BE USED FOR THE PURPOSE AS STATED ABOVE, UNLESS NOTIFIED BY DESIGN EDGE

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION DO NOT SCALE OFF DRAWINGS

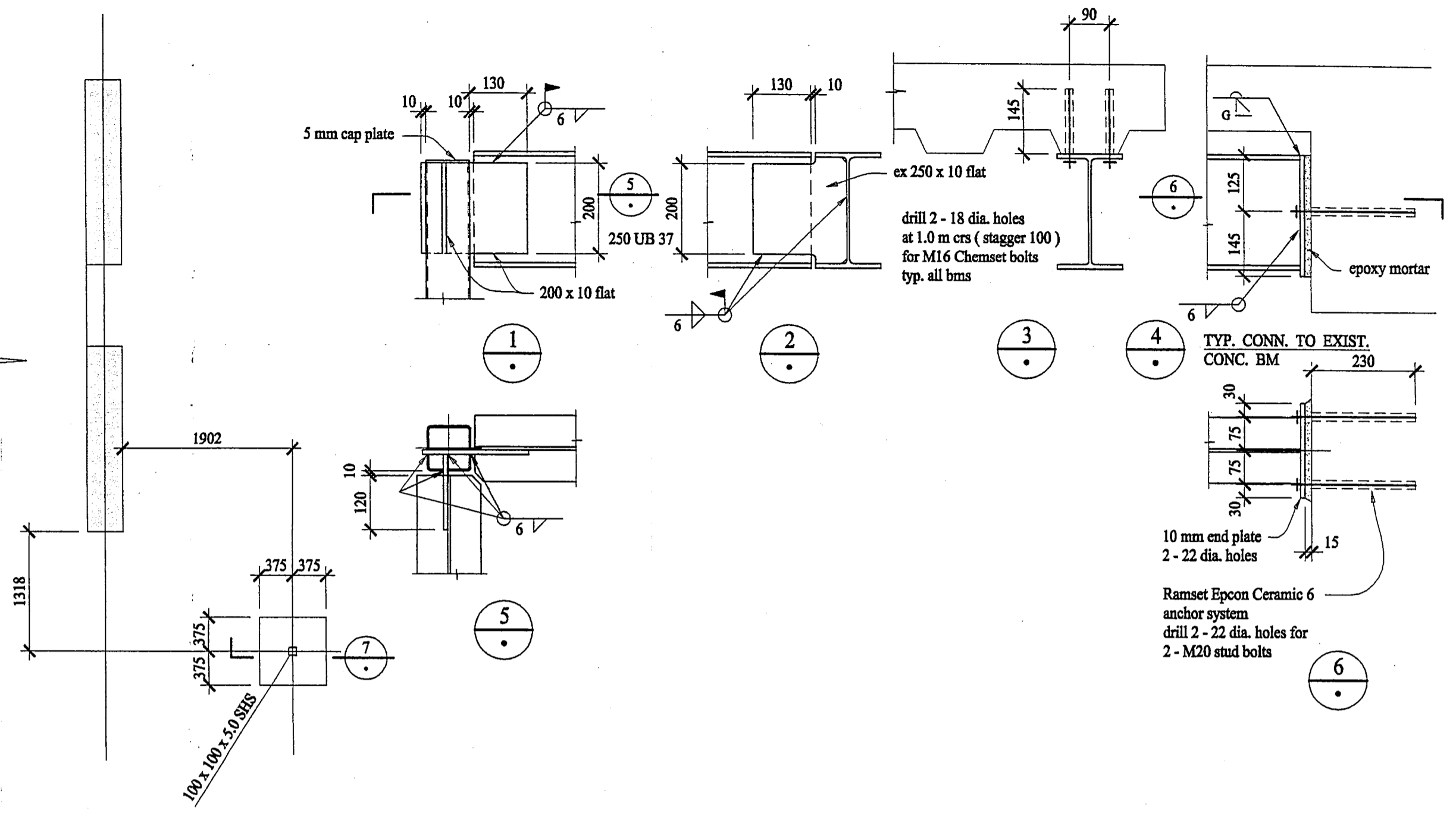
ORIGINAL SIZE

No	DATE	REVISION
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DRAWN	KAT	DESIGN MARK
DRAWN SCALE	1:100	REV SHEET No.
DATE	14.05.01	A01
		OF 4 SHEETS.

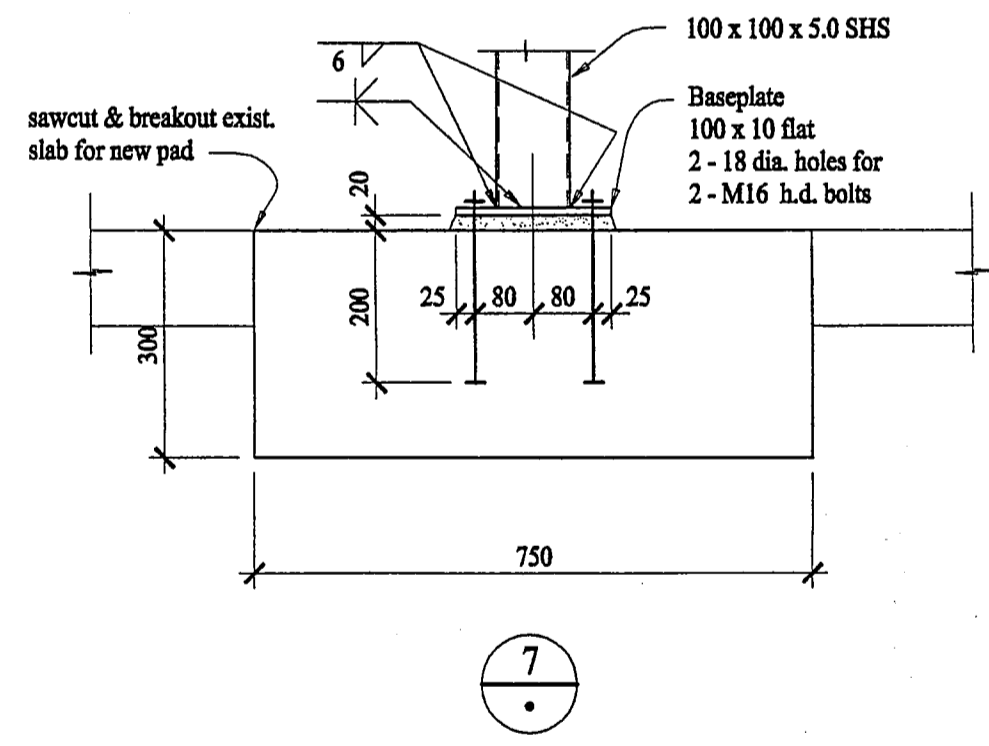


**PARTIAL FIRST FLOOR FRAMING PLAN
AT NEW STAIR OPENING**

**SITE MEASURE BEFORE
FABRICATION**



COL. PAD LOCATION



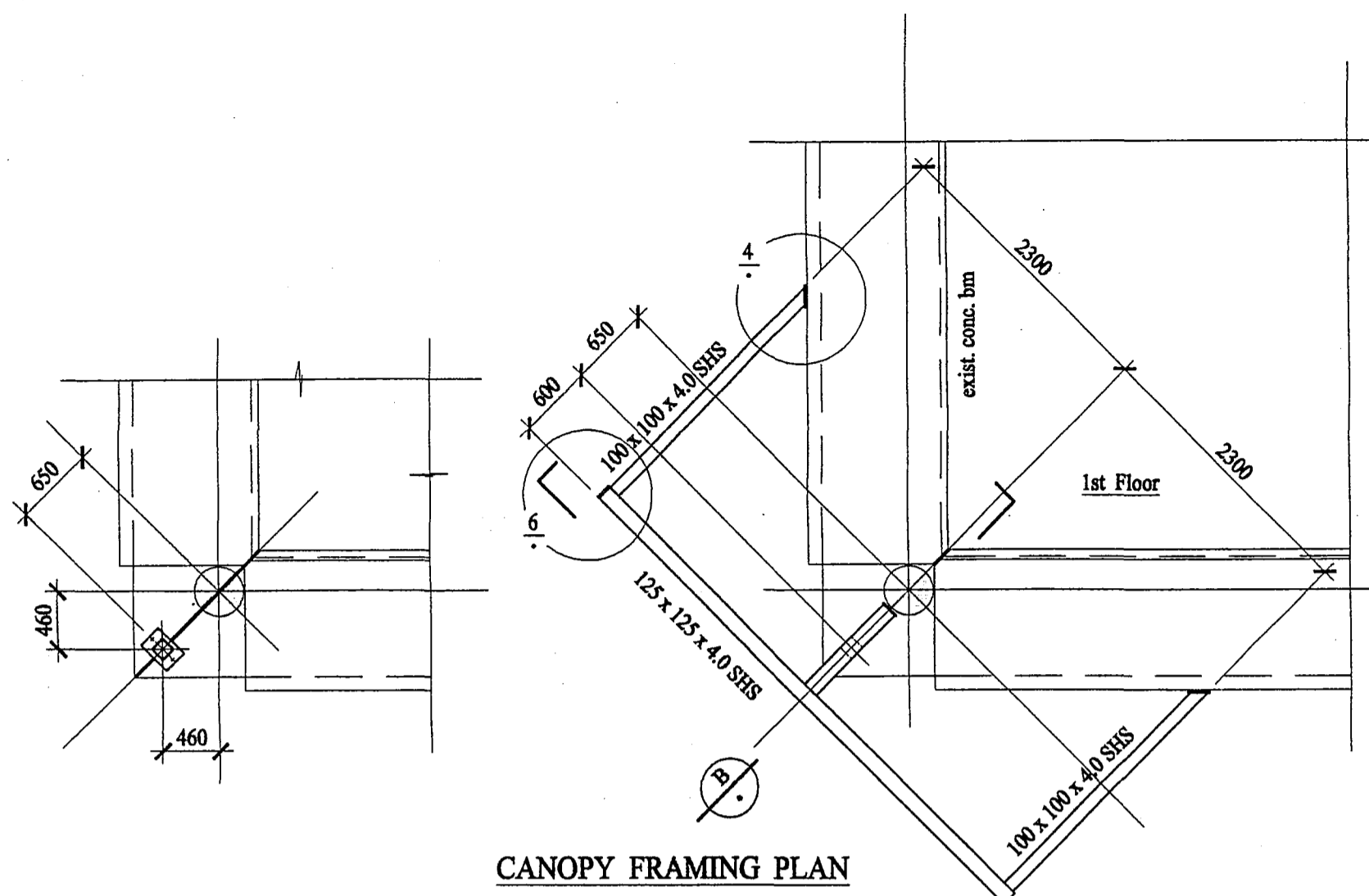
STRUCTURAL NOTES

- Concrete compressive strength (f_c) shall be 25 MPa at 28 days. Materials & workmanship to be in accordance with NZS 3109.
- Steel workmanship to be in accordance with NZS 3404.
- Flats shall comply with AS 3679, grade 250.
- Sections shall comply with AS 3679.1 grade 300.
- Hollow sections shall comply with AS 1163 grade 350.
- Steelwork to be powerwire brushed to remove all loose mill scale & rust prior to the application of zinc chromate priming paint.
- Propping and maintenance of stability of the existing structure shall be the contractors responsibility at all times.
- Refer to Architects drgs for fire protection requirements to bms and pose.
- The structural drawing shall be read in conjunction with the architectural drawings.

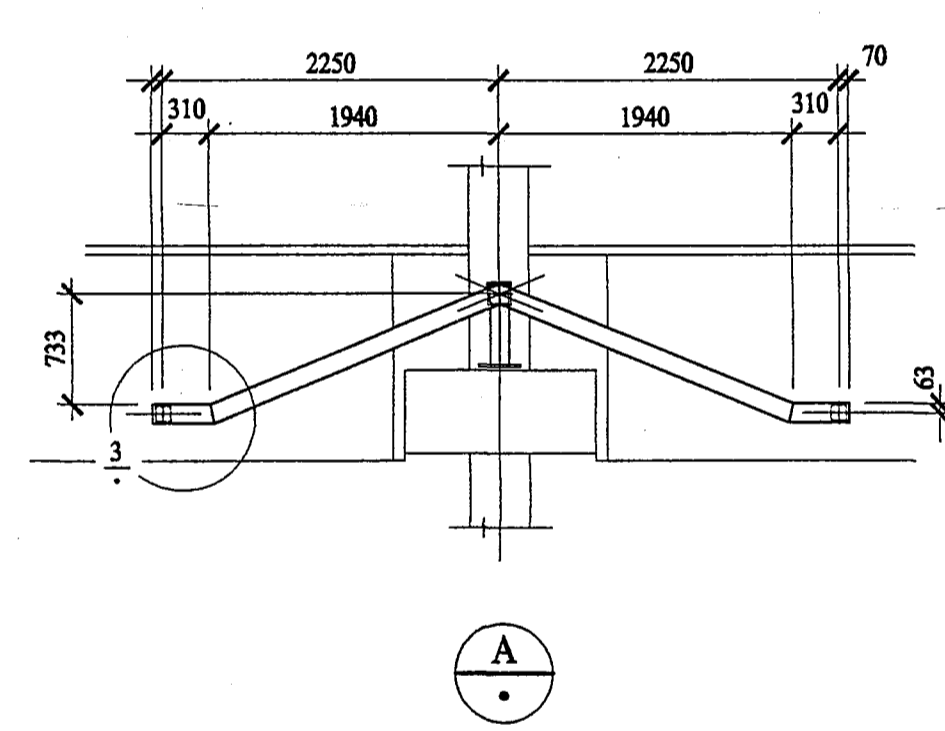
CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
 10 MAY 2000
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Falloon & Wilson Ltd claim authorship of this work & retain intellectual & artistic copyright
 contractor shall verify all dimensions before commencing work

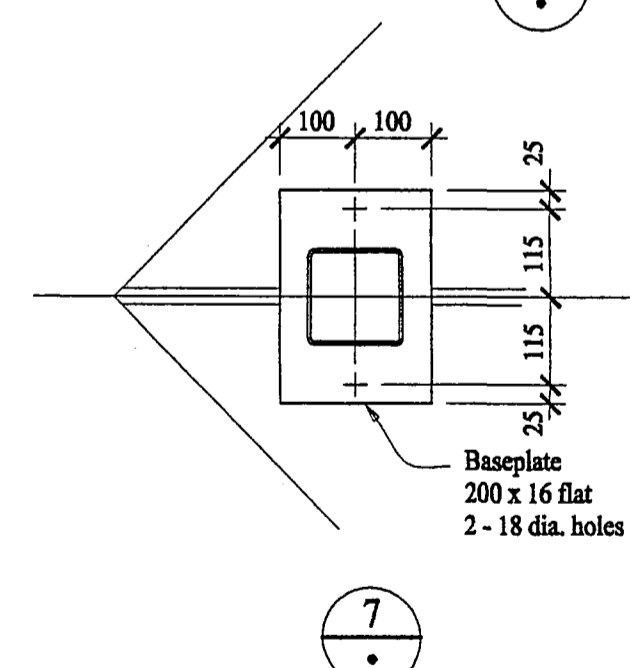
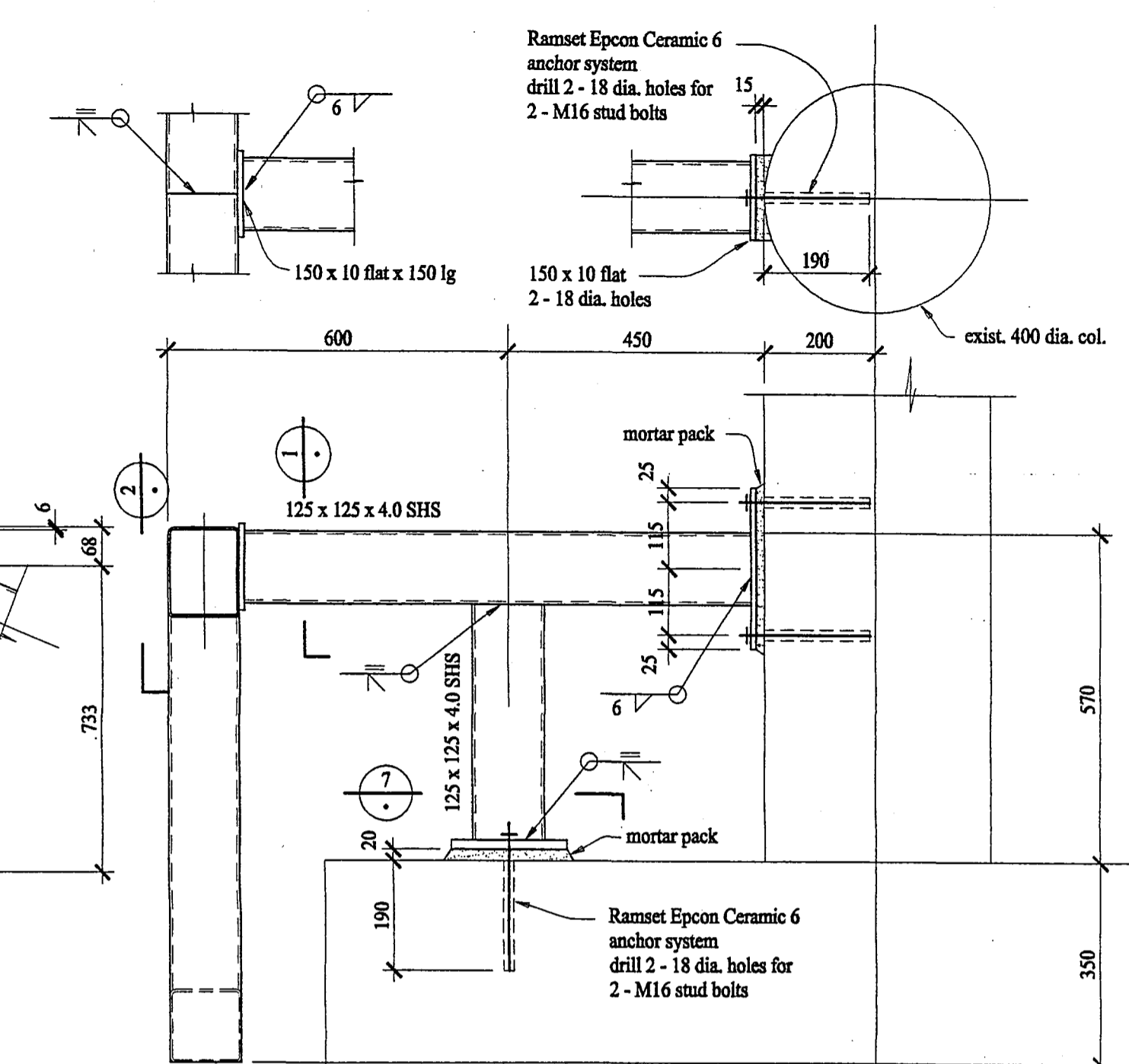
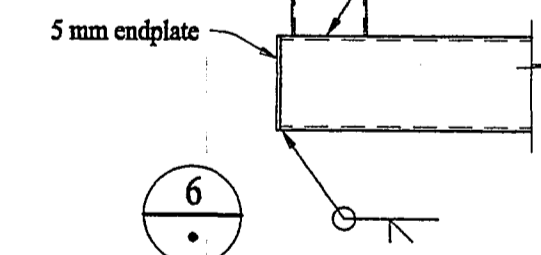
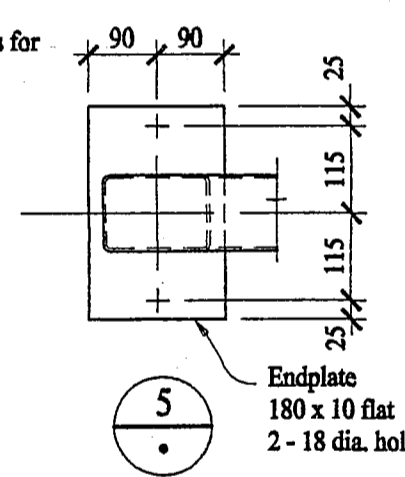
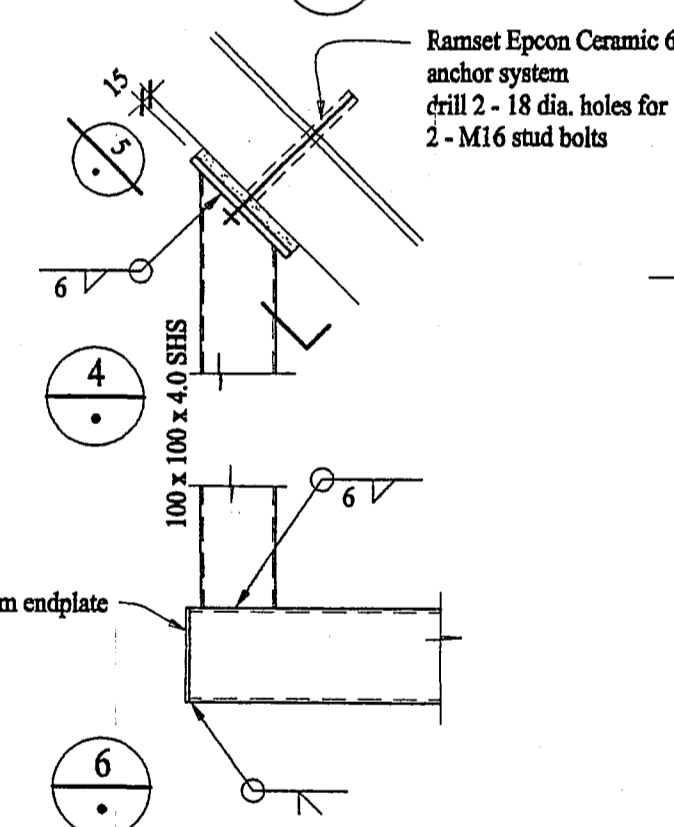
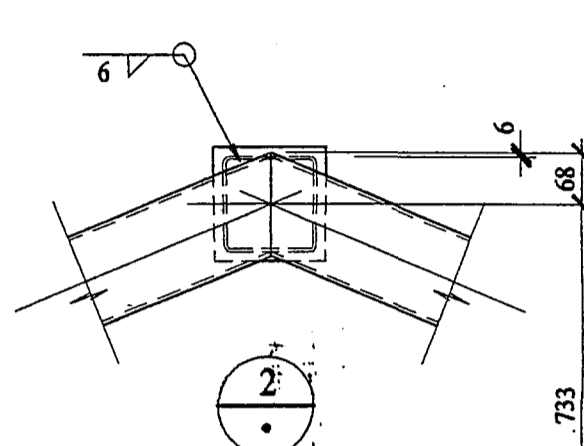
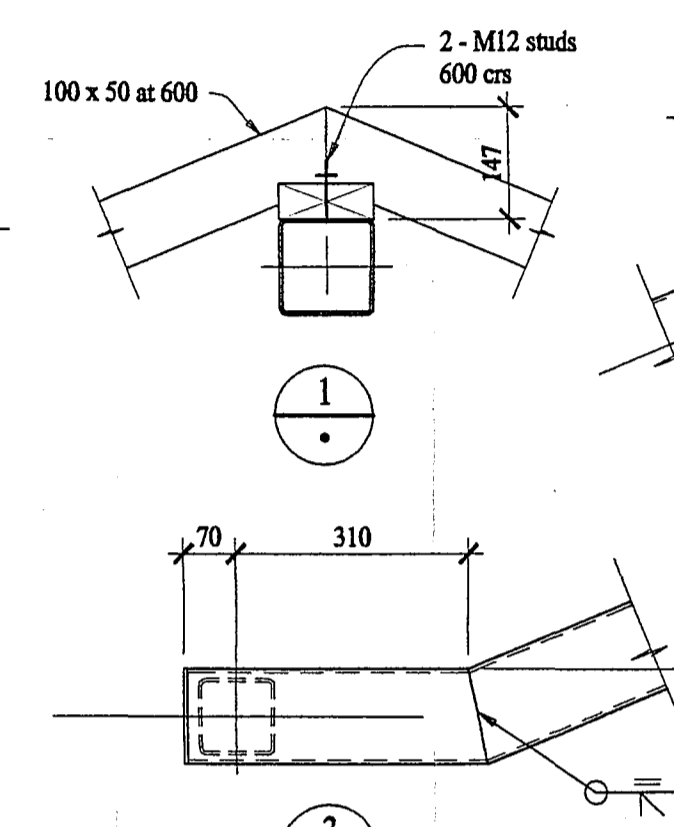
issue date amendment
 drawing status: **CONSENT**



SITE MEASURE BEFORE FABRICATION



- STRUCTURAL NOTES**
- Steel workmanship to be in accordance with NZS 3404.
 - Flats shall comply with AS 3679, grade 250.
 - Sections shall comply with AS 3679.1 grade 300.
 - Hollow sections shall comply with AS 1163 grade 350.
 - Steelwork to be powerwire brushed to remove all loose mill scale & rust prior to the application of zinc chromate priming paint.
 - The structural drawing shall be read in conjunction with the architectural drawings.



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contractor shall verify all dimensions before commencing work

issue date: amendment: drawing status: CONSENT

ALTERATIONS TO BUILDING AT 245 - 249 MADRAS STREET - CHRISTCHURCH

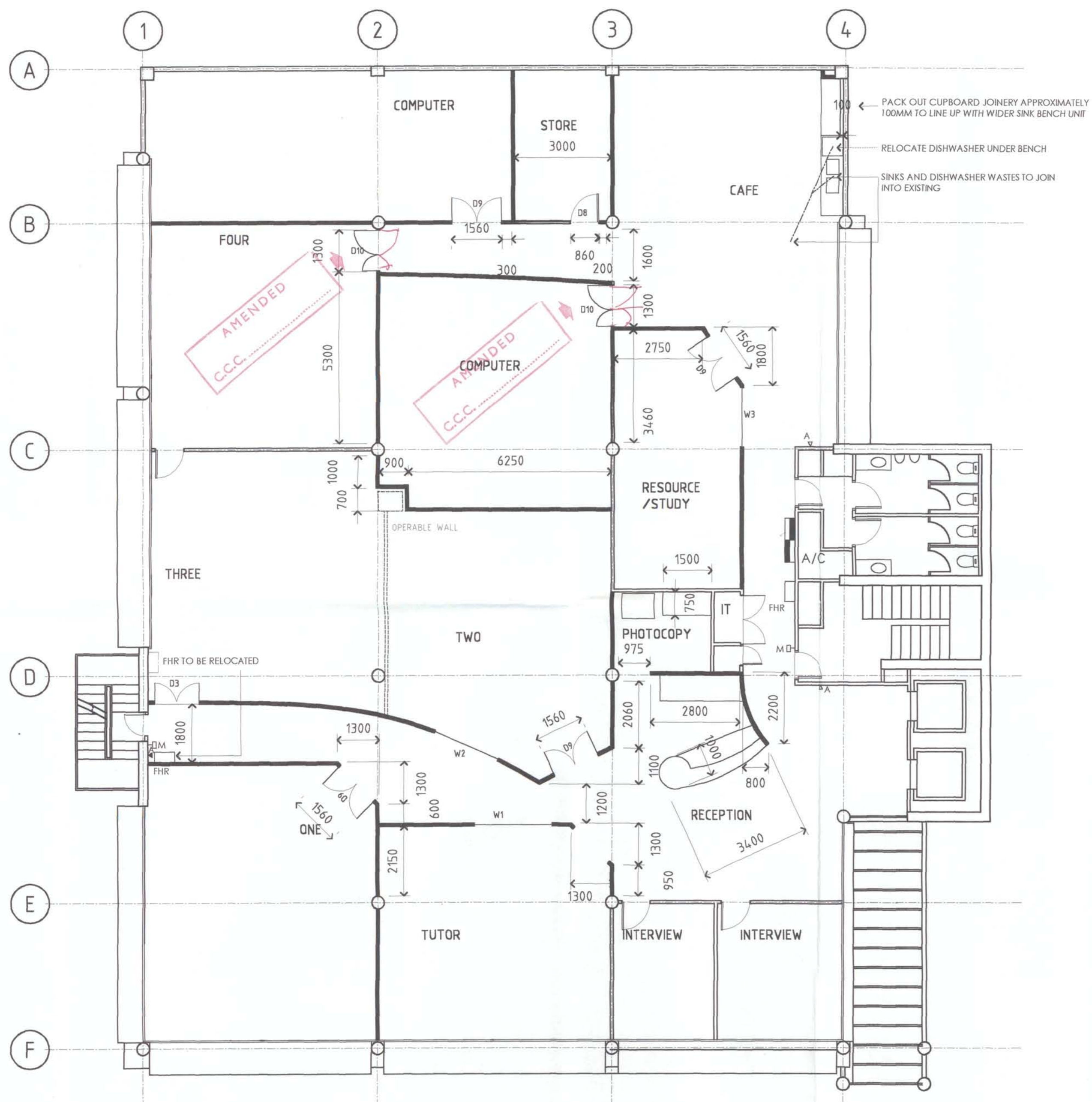
NEW ENTRANCE CANOPY
FRAMING PLAN & DETAILS

FALLOON & WILSON LTD
CIVIL & STRUCTURAL
CONSULTING ENGINEERS

61 Kilmore Street
P.O. Box 2867 Christchurch
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Telephone (03) 379-7260
Fax (03) 365-4146
Mobile 021 342-247

designed: CWT
drawn: GWL 5/2000
checked: [Signature]
scale: 1:50, 1:10
file: 2774

sheet: S2
rev:



LEGEND

- EXISTING ACOUSTIC WALLS TO REMAIN
- NEW 63.5MM STEEL STUD WALLS WITH 9.5MM GIB BOARD TO BOTH SIDES, WITH ACOUSTIC BATTS INSTALLED.
- FULL HEIGHT SAFETY GLAZING TO NZS 4223, WITH 3M DUSTED CRYSTAL FILM INSTALLED.
- EXISTING MANUAL CALL POINTS TO REMAIN
- FIRE HOSE REELS
- EXISTING ALARM SOUNDER TO REMAIN
- NEW ALARM SOUNDER

CHRISTCHURCH CITY COUNCIL
Handwritten signature
CONSENT DOCUMENT
 19 JUN 2001
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COUNCIL COPY



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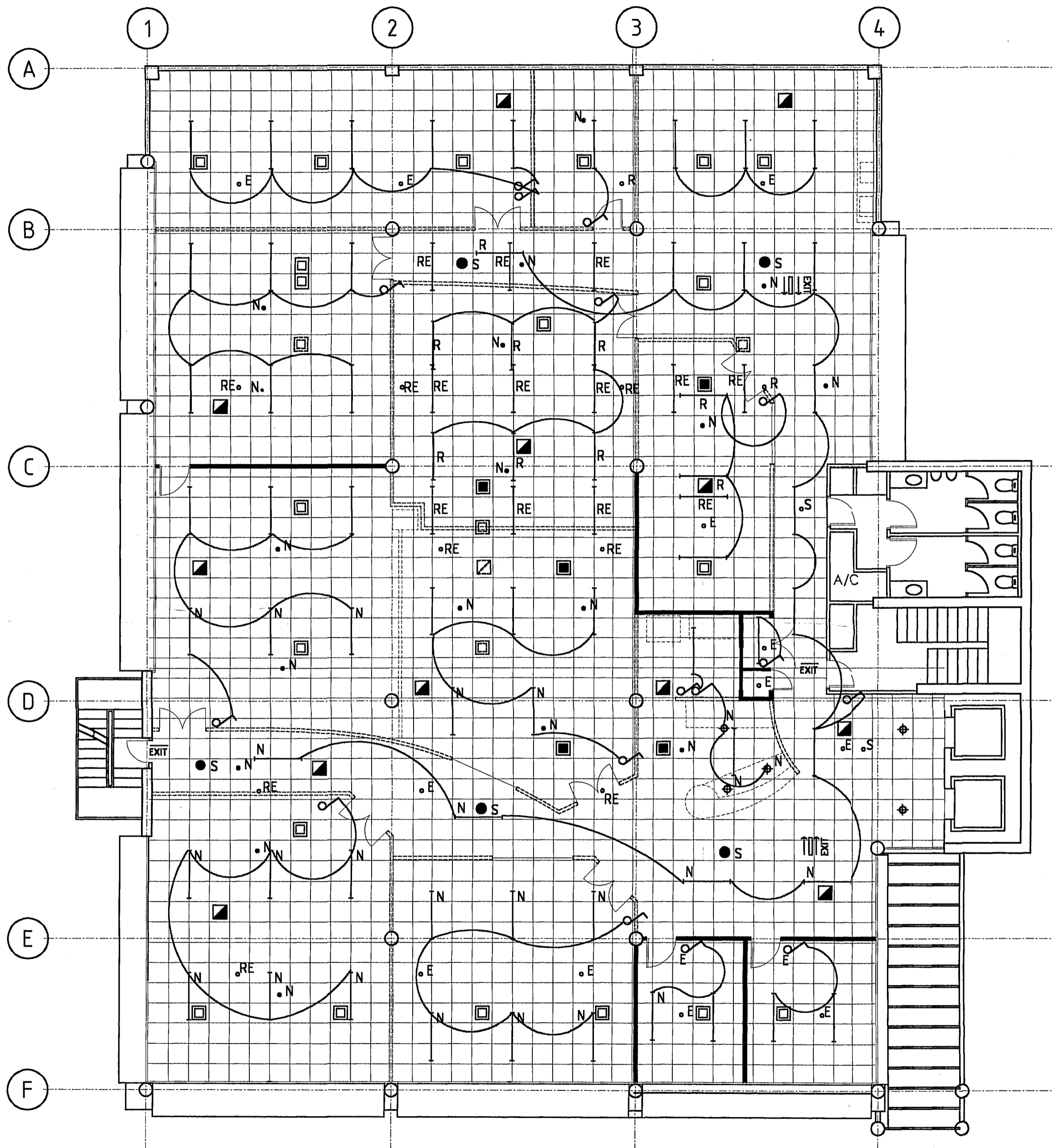
SHEET TITLE
**245-9 MADRAS STREET
 LEVEL TWO
 FLOOR PLAN
 PLUMBING PLAN**

THESE DRAWINGS ARE ONLY TO BE USED FOR THE PURPOSE AS STATED ABOVE, UNLESS NOTIFIED BY DESIGN EDGE

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ORIGINAL SIZE 1:1

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DATE	14.05.01	A02 OF 4 SHEETS.



LEGEND

- NEW PARTITION WALLS
- FULL HEIGHT ACOUSTIC WALLS
- SAFETY GLAZING TO NZS 4223 IN PARTITION WALLS
- EXISTING FLOURESCENTS TO BE RELOCATED
- EXISTING FLOURESCENTS TO REMAIN IN POSITION
- RELOCATED POSITION OF EXISTING FLOURESCENTS
- NEW FLOURESCENT TO MATCH EXISTING.
- NEW PHILIPS FBS 245 226 DOWNLIGHT WITH GBS 245-01, WHITE
- NEW OR EXISTING LIGHT SWITCH
- EXISTING SUPPLY DIFFUSER TO REMAIN
- EXISTING DIFFUSER TO BE RELOCATED
- NEW POSITION OF RELOCATED OR NEW DIFFUSER
- EXISTING RETURN / AIR GRILL TO BE RELOCATED
- NEW OR RELOCATED RETURN / AIR GRILL
- THERMOSTAT, R INDICATES RELOCATED, N NEW
- EXISTING HEAT DETECTOR
- HEAT DETECTOR TO BE RELOCATED
- NEW OR RELOCATED HEAT DETECTOR
- NEW SMOKE DETECTOR
- EXISTING SMOKE DETECTOR
- EXIT & EMERGENCY LIGHT WITH BATTERY BACKUP TO CODE
EXIT SIGN ONE SIDE ONLY
- EXIT & EMERGENCY LIGHT WITH ARROWS BOTH SIDES
WITH BATTERY BACKUP TO CODE
- EXIT AND EMERGENCY LIGHT ABOVE DOOR WITH BATTERY BACKUP
TO CODE

NOTE: ALL EXISTING FLUORESCENTS TO HAVE BROKEN TUBES, DIFFUSERS, AND BALLASTS REPAIRED.

NOTE: ACOUSTIC BATTS IN CEILING VOID TO BE RELOCATED TO COVER BETWEEN GRID LINES A,B,C AND 1,2,3,4. EVERYWHERE ELSE BATTS TO COVER 1200MM EITHER SIDED OF ALL WALLS.

CHRISTCHURCH CITY COUNCIL
 19 JUN 2001
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CC COPY



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SHEET TITLE
 245-9 MADRAS STREET
 LEVEL TWO
 REFLECTED CEILING PLAN

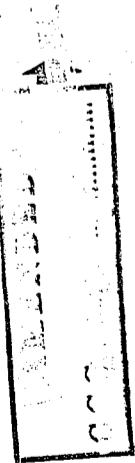
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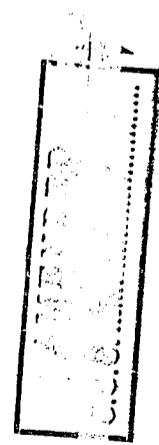
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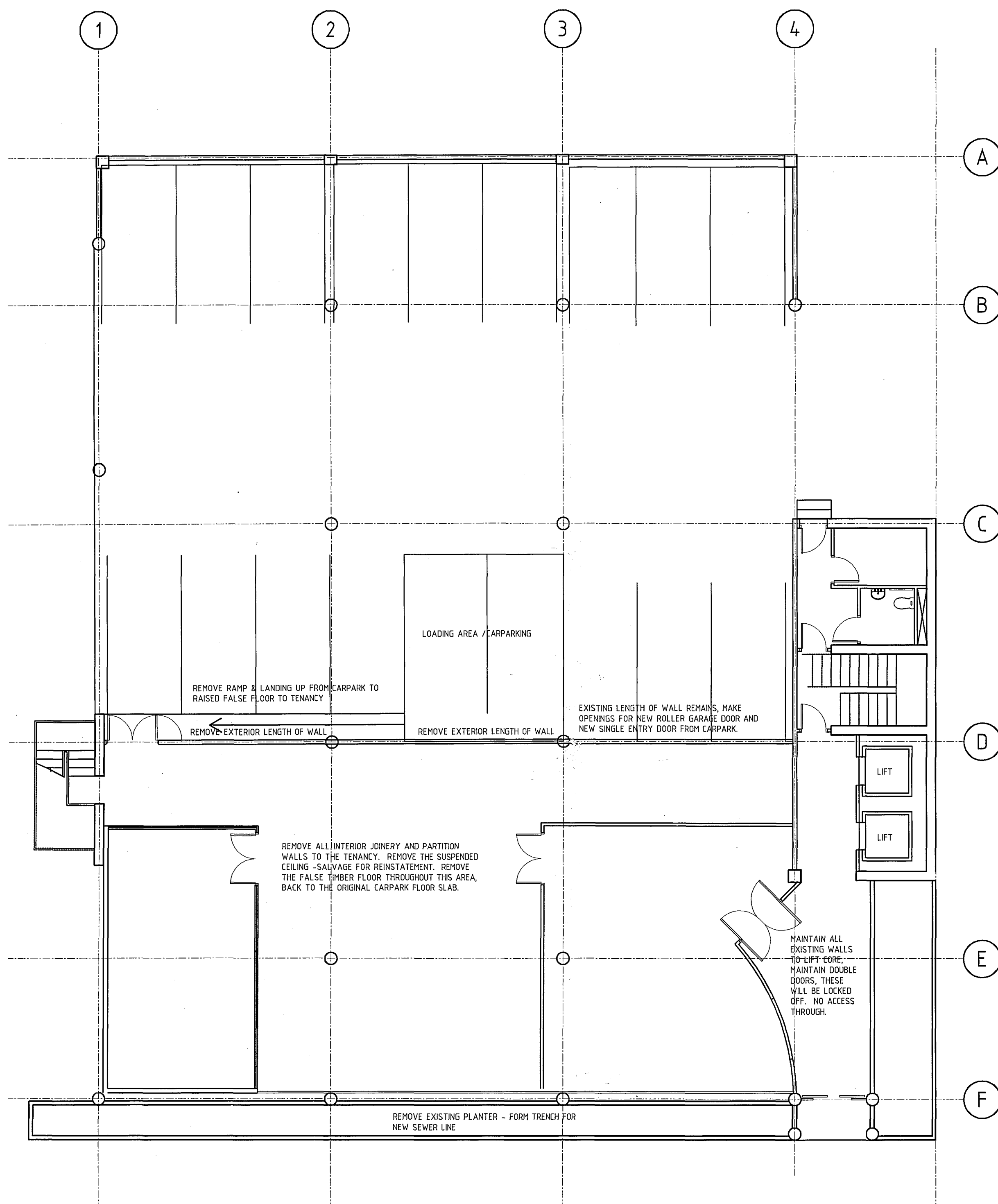
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DATE	14.05.01	A03 OF 4 SHEETS.

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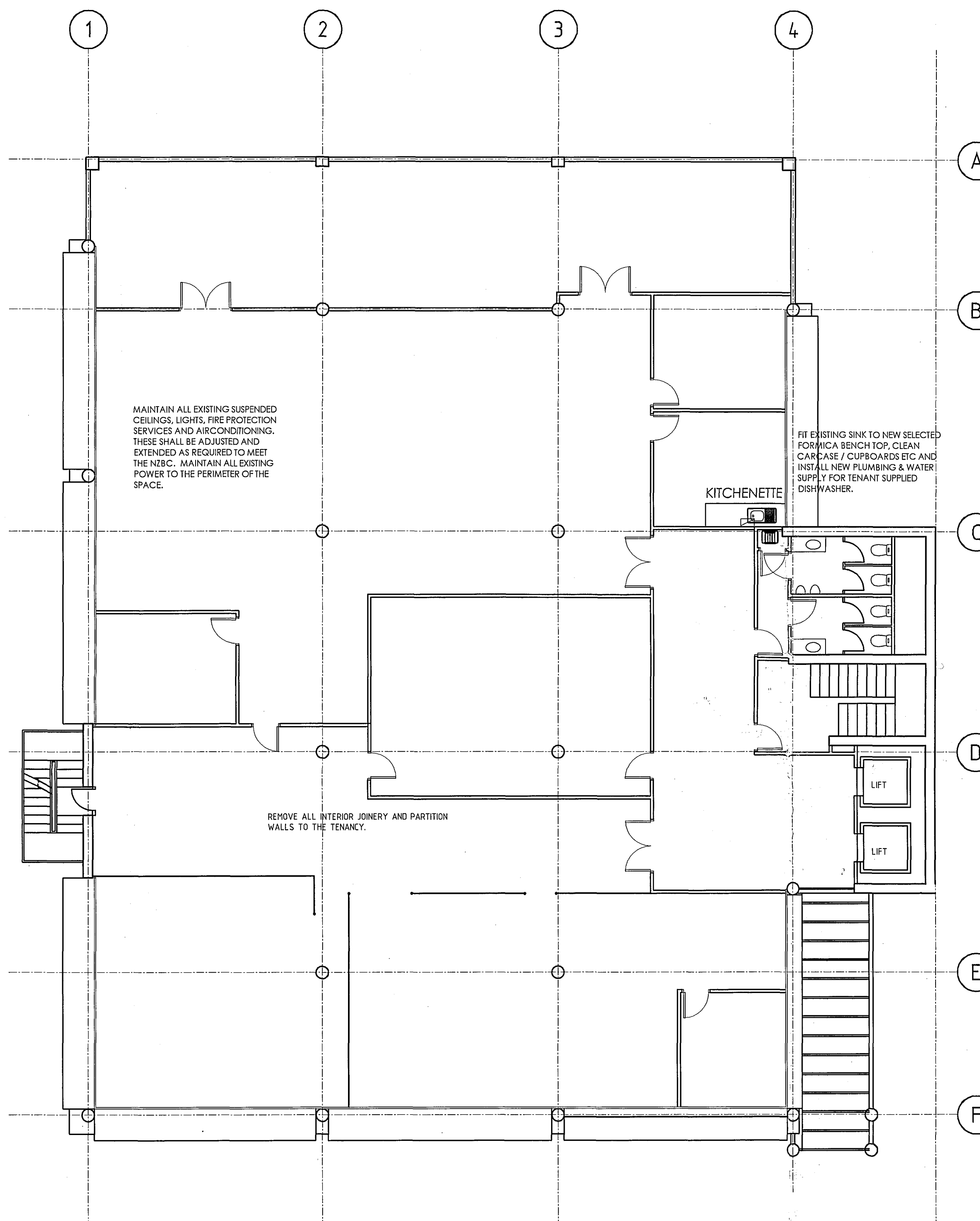


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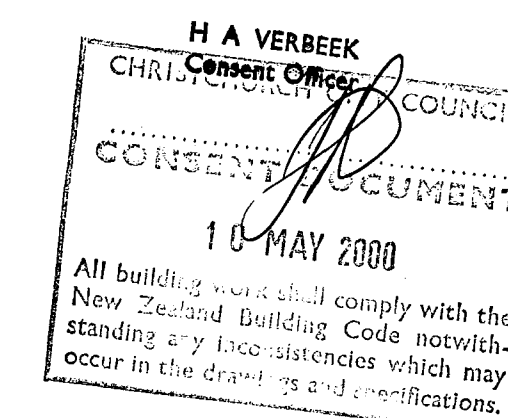




GROUND FLOOR PLAN AS EXISTING / DEMOLITION



FIRST FLOOR PLAN AS EXISTING /DEMOLITION



B.C. REVISED PLAN 5.00

A BUILDING CONSENT UPDATED PLAN		
No.	DATE	REVISION
SHEET TITLE		
CHTV FITOUT		
245-249 MADRAS STREET		
CHRISTCHURCH		
EXISTING FLOOR PLANS/DEMO		
DESIGN	Date	DRAWN SCALE
DRAWN	Date AMC	ORIGINAL SHEET SIZE
CHECKED	Date	CAD FILE
APPROVED	Date	CAD PLOT SCALE
FILE No. 0027	PRINT DATE	5.00

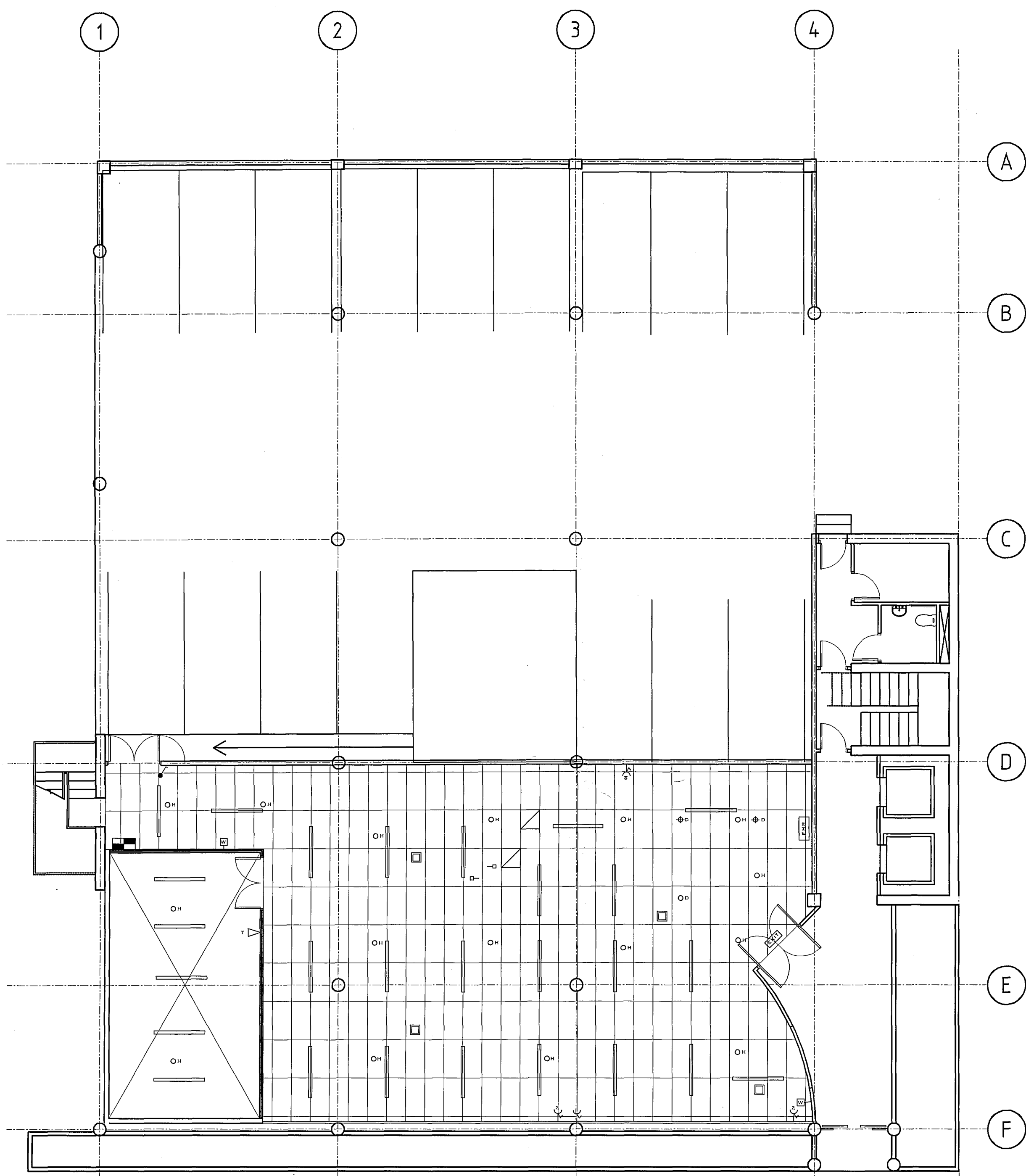
WARBURTON
COUNCIL COPY TEAM ARCHITECTURE

RECEIVED
9 MAY 2000
BUILDING CONSENTS
Warburton Team Architecture Ltd
184 High Street, Dunedin
PO Box 1426, Dunedin
Telephone 03 474 1825,
Facsimile 03 479 2311
Email warbarch@tra.co.nz

PLEASE NOTE: THE BASE PLAN FOR THIS DRAWING HAS NOT BEEN AMENDED TO SHOW THE CORRECT EXISTING PLAN LAYOUT OR DIMENSIONS ACROSS THE FRONT OF THE BUILDING. THE COLUMN TO COLUMN BAYS FROM GRID LINE 1 TO 4 NEED TO REDUCE BACK BY 250mm PER BAY TO MAKE THE FRONT DIMENSION CORRECT.

WE UNDERSTAND AT THIS DATE 2 MAY 2000 THAT EXTENSIVE DEMOLITION HAS BEEN COMPLETED ON BOTH LEVELS TO MAKE WAY FOR NEW WORK. THIS DRAWING IS PROVIDED TO SHOW WHAT ITEMS EXISTED AT THE OUTSET OF THE PROJECT.

THESE DRAWINGS ARE ONLY TO BE USED FOR THE PURPOSE AS STATED ABOVE, UNLESS NOTIFIED BY WARBURTON ARCHITECTS		
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION DO NOT SCALE OFF DRAWINGS		
ORIGINAL SIZE	-10 0 10 20 30 40 50mm	
1:1	1:1	
© WARBURTON ARCHITECTS DUNEDIN D.A. ref WJ 6.31A		
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PROJECT No.	REV	SHEET No.
0027	A	A001
		OF SHEETS



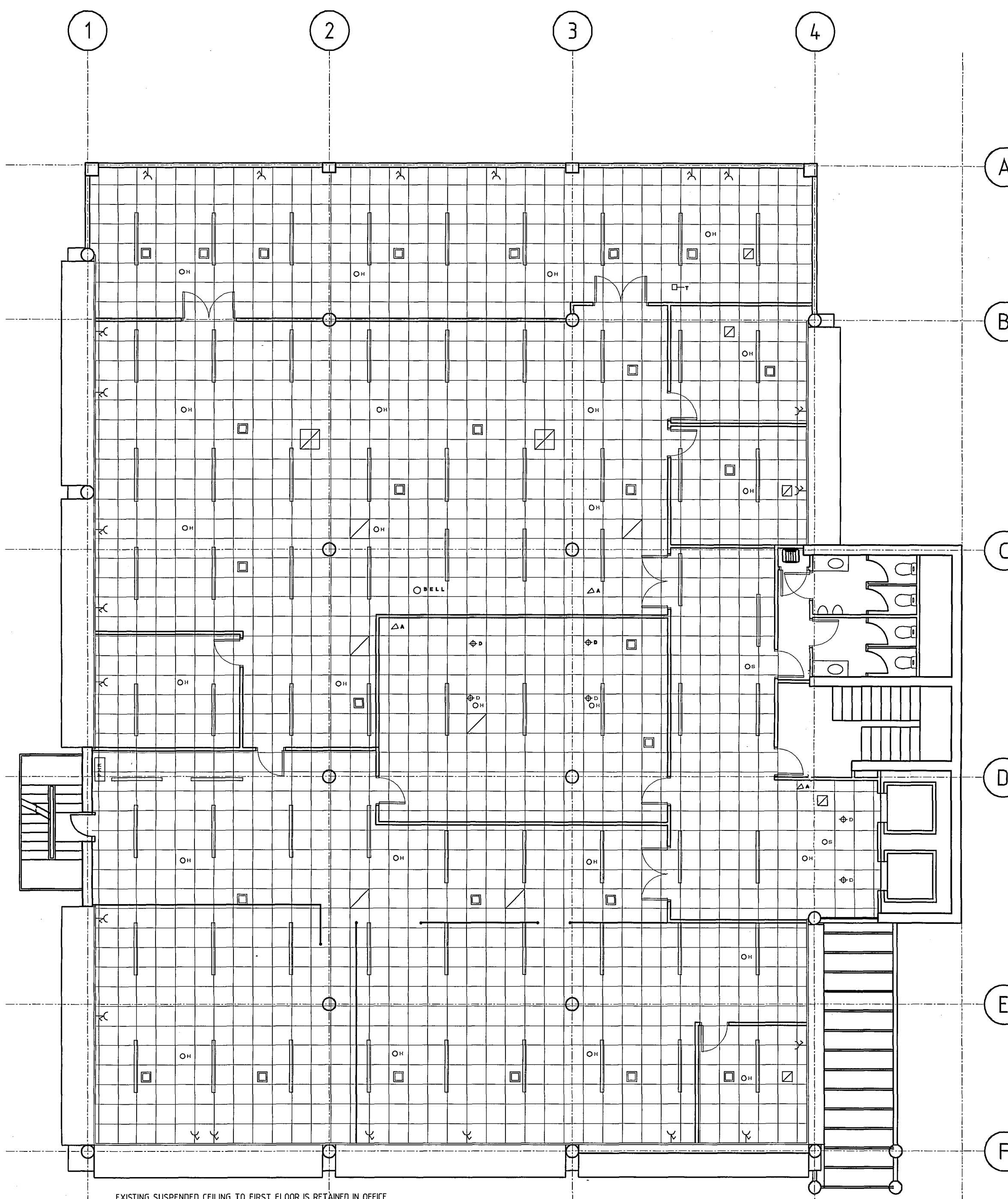
EXISTING SUSPENDED CEILING ON THE GROUND FLOOR IS TO BE REMOVED AND REINSTATED TO THE NEW ROOM LAYOUT. REINSTATE ALL HEAT DETECTORS, FIRE ALARM CALL POINTS AND EXTEND AS NECESSARY TO COVER THE NEW LAYOUT.

SALVAGE LIGHTS FOR REINSTATEMENT ON NEW CEILING LAYOUTS. SALVAGED FITTINGS SHALL HAVE NEW FLUORESCENT TUBES AND A SECURE NEW OR EXISTING DIFFUSER ON REINSTATEMENT.

KEY:

- ◻ Existing air conditioning grille
- ◻ Existing air conditioning grille
- ⊕ Existing double switched power socket
- ⊕ Existing single switched power socket
- ⊕ Existing Fire Alarm Call Point
- ⊕ Existing Fire Hose Reel
- Existing Surface mounted Fluorescent fitting
- ⊕ Existing Heat Detector.
- ◻ Existing exit signage.
- ◻ Existing distribution boards.
- ⊕ Existing light switch.

REFLECTED CEILING & ELECTRICAL GROUND FLOOR AS EXISTING



EXISTING SUSPENDED CEILING TO FIRST FLOOR IS RETAINED IN OFFICE AREAS AND REPLACED BY NEW NOISELINE GIB BOARD-FRAMED CEILINGS TO SPECIFIC AREAS -REFER TO SHEET A003 FOR NEW CEILING LAYOUTS.

SALVAGE LIGHTS FOR REINSTATEMENT ON NEW CEILING LAYOUTS. SALVAGED FITTINGS SHALL HAVE NEW FLUORESCENT TUBES AND A SECURE NEW OR EXISTING DIFFUSER ON REINSTATEMENT.

- Existing bell
- ⊕ Existing Downlight
- ⊕ Existing fire alarm sounder

REFLECTED CEILING & ELECTRICAL FIRST FLOOR AS EXISTING

PLEASE NOTE: THE BASE PLAN FOR THIS DRAWING HAS NOT BEEN AMENDED TO SHOW THE CORRECT EXISTING PLAN LAYOUT OR DIMENSIONS ACROSS THE FRONT OF THE BUILDING. THE COLUMN TO COLUMN BAYS FROM GRID LINE 1 TO 4 NEED TO REDUCE BACK BY 250mm PER BAY TO MAKE THE FRONT DIMENSION CORRECT.

WE UNDERSTAND AT THIS DATE 2 MAY 2000 THAT EXTENSIVE DEMOLITION HAS BEEN COMPLETED ON BOTH LEVELS TO MAKE WAY FOR NEW WORK. THIS DRAWING IS PROVIDED TO SHOW WHAT ELECTRICAL & MECHANICAL ITEMS EXISTED AT THE OUTSET OF THE PROJECT.

B.C. REVISED PLANS 5.5.00

A BUILDING CONSENT UPDATED DRAWING	
No	DATE
REVISION	
SHEET TITLE	
CHTV FITOUT	
245-249 MADRAS STREET	
CHRISTCHURCH	
EXISTING CEILING PLANS	

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
 10 MAY 2000
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DESIGN	Date	DRAWN SCALE
DRAWN	Date	ORIGINAL SHEET SIZE
CHECKED	Date	A1
APPROVED	Date	CAD FILE 0027A002EX-CEILING
FILE No.	0027	CAD PLOT SCALE 1:1
PRINT DATE	5.5.00	

WARBURTON

COUNCIL COPY RECEIVED
 8 MAY 2000

TEAM ARCHITECTURE

Warburton Team Architecture Ltd
 184 High Street, Dunedin
 PO Box 1426, Dunedin
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 Facsimile 03 479 2311
 Email warbarch@tra.co.nz

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ORIGINAL SIZE	10	0	10	20	30	40	50mm
SCALE	1:1						

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PROJECT No.	REV	SHEET No.
0027	A	A002
OF	SHEETS.	

AIR CONDITIONING TO GROUND FLOOR:

1. Design build.
2. Ventilation to all habitable spaces.
3. Wall between the Carpark and habitable space to have 1/2 hour fire rating. All penetrations through walls will require 1/2 hour fire rating.
4. Para Shower/Toilet Space requires separate ventilation.
5. The Studio requires separate air-conditioning on a split system (including cooling) between 1pm and 9pm (operational hours) -an adjustable time clock is required.
6. The Control and Transmission Spaces require a split air conditioning system (including cooling) these spaces are occupied 7 days a week, 24 hours per day.
7. All other habitable spaces on this level require air conditioning, heating and cooling.

CEILING MOUNTED LIGHT FITTINGS TO THE GROUND FLOOR LEVEL:

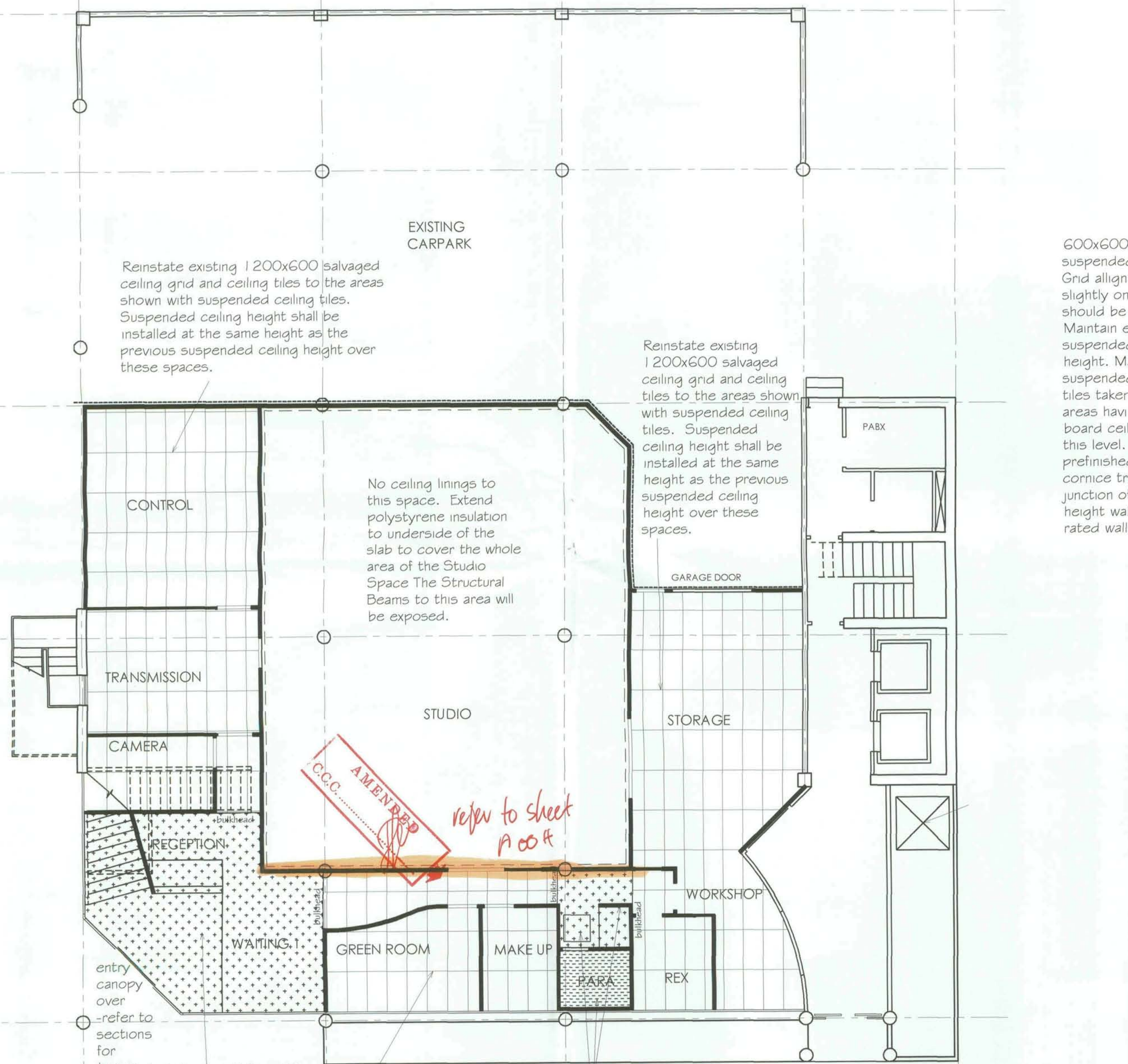
1. Design build.
2. Reuse existing fluorescent light fittings to Control, Transmission, Camera, Green Room, Makeup, Kitchenette, Rex, Storage & Workshop Spaces. Provide a minimum illumination of 425lux to these areas. Provide new fluorescent tubes to fittings, ensure that all fittings are complete with diffusers on completion. Clean fittings of site dust if necessary as they are being installed.
3. Light fittings to the Studio to be confirmed.
4. Light fittings to the Reception and Waiting Areas to be confirmed.
5. Light fittings to the Soffit at the exterior entry shall to be confirmed.
6. Light fittings to the Para/Shower toilet Area shall to be confirmed.

AIR CONDITIONING TO GROUND FLOOR:

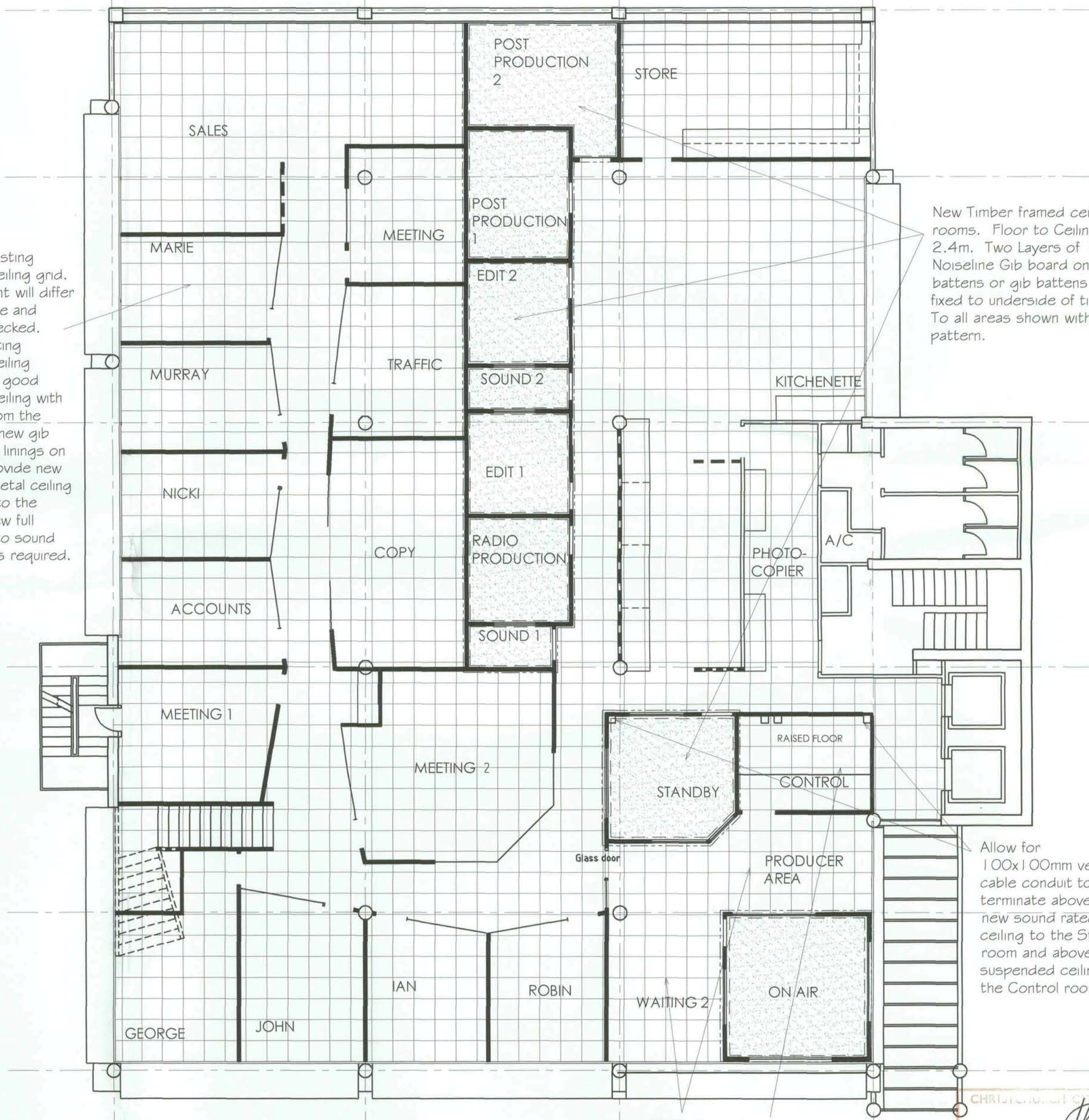
1. Design build.
2. On Air Studio and Standby requires a split system air conditioning system to this Room. The space is occupied 7 days a week 24 hours per day.
3. Post Production 1 & 2, Edit 1 & 2, Sound 1 & 2 and Radio Production require air conditioning supply and extract to each space. These are sealed rooms and there are no gaps to the doors.
4. All other habitable spaces on this level require air conditioning, heating and cooling. Note that Meeting 2 may have up to 10 people in it at one time.

CEILING MOUNTED LIGHT FITTINGS TO LEVEL 1

1. Design build.
2. Except in Sound Rated rooms (Standby, Studio, Post Production 1 & 2, Radio Production, Edit 1 & 2, Sound 1 & 2) reuse existing light fittings to all general office areas. Provide new fluorescent tubes to all fittings, ensure that all fittings are complete with diffusers on completion. Clean fittings of site dust if necessary as they are being installed. Provide a minimum illumination of 425lux.
3. Sound Rated rooms (Standby, Studio, Post Production 1 & 2, Radio Production, Edit 1 & 2, Sound 1 & 2) Light fittings are to be confirmed.



NEW GROUND FLOOR REFLECTED CEILING PLAN



NEW FIRST FLOOR REFLECTED CEILING PLAN

AIRCO TO PROVIDE THE CHRISTCHURCH CITY COUNCIL WITH HVAC DESIGN BUILD DOCUMENTATION FOR APPROVAL PRIOR TO ANY NEW WORK PROCEEDING ON SITE.

New Timber framed ceilings to these rooms. Floor to Ceiling Height 2.4m. Two Layers of 12.5mm Noiseless Gib board on 50x40 timber battens or gib battens @600 crs fixed to underside of timber framing. To all areas shown with this hatched pattern.

THE CONTRACTOR SHALL CHECK AND CONFIRM ALL DIMENSIONS ON SITE.
GRID POSITION ON LEVEL ONE WILL NEED TO BE CHECKED FOR CORRECT POSITIONING.

B.C. REVISED PLANS 5.5.00

A 5.5.00 BUILDING CONSENT AMENDMENTS		
No.	DATE	REVISION
SHEET TITLE		
CHTV FITOUT		
245-249 MADRAS STREET		
CHRISTCHURCH		
REFLECTED CEILING PLANS		
DESIGN	MV	Date 5.5.00
DRAWN	AMC	Date 5.5.00
CHECKED		Date
APPROVED		Date
FILE No.		PRINT DATE 5.5.00

CHRISTCHURCH CITY COUNCIL
BUILDING CONSENT DOCUMENT
10 MAY 2000
All building work must comply with the New Zealand Building Code notwithstanding any local bylaws which may occur in the district as a determination.

WARBURTON
TEAM ARCHITECTURE
Warburton Team Architecture Ltd
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PO Box 1426, Dunedin
Telephone 03 474 1825,
Facsimile 03 479 2311
Email warbarch@xtra.co.nz

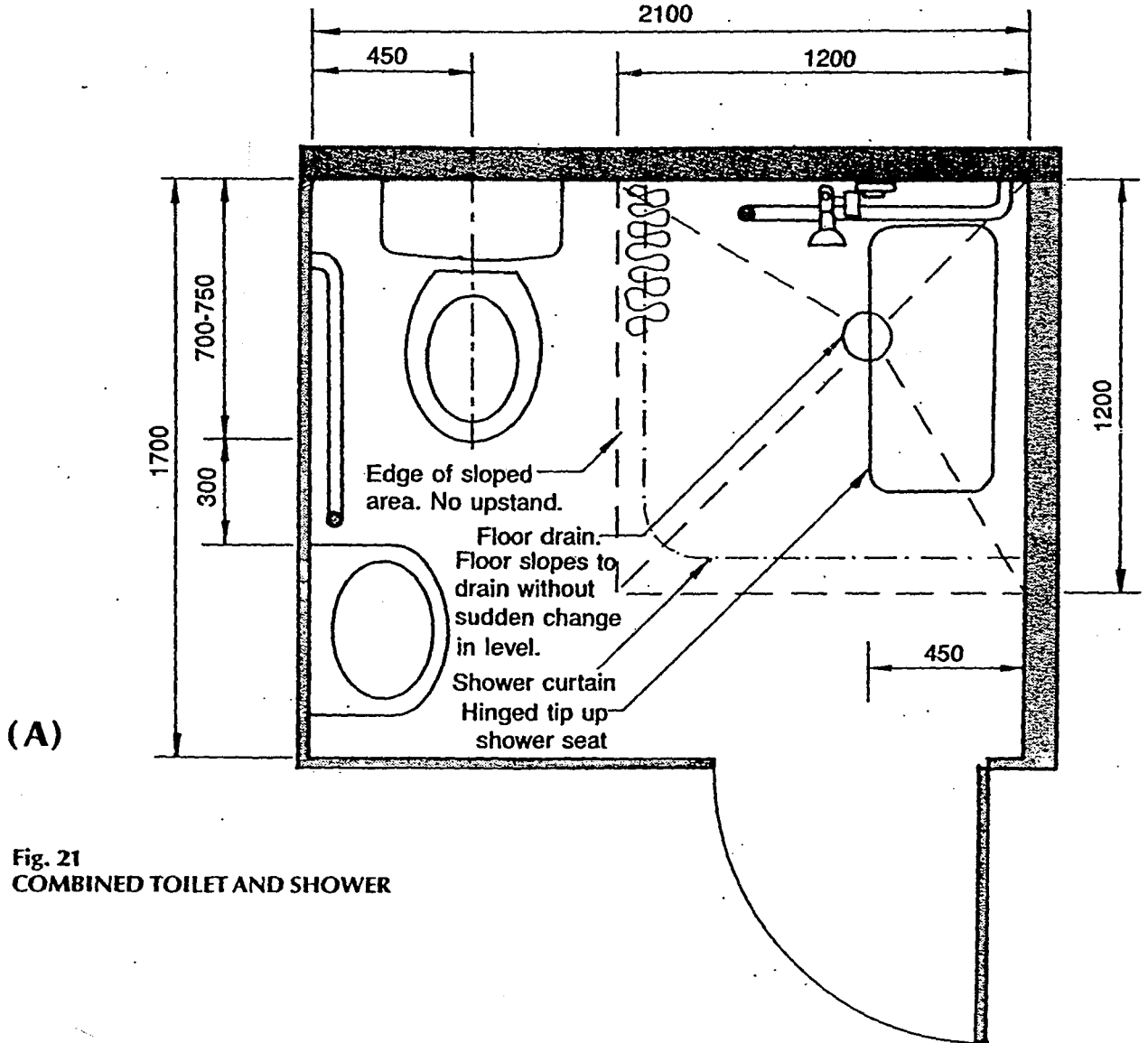
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8 MAY 2000
BUILDING CONSENTS

NOTE: It may be necessary to drop the existing suspended ceiling height down in this area to allow for the air conditioning ducts to pass through this space. Floor to Ceiling in Control, Waiting 2 and the Producer Area = 2.4m.

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0027	A	A003
		OF SHEETS

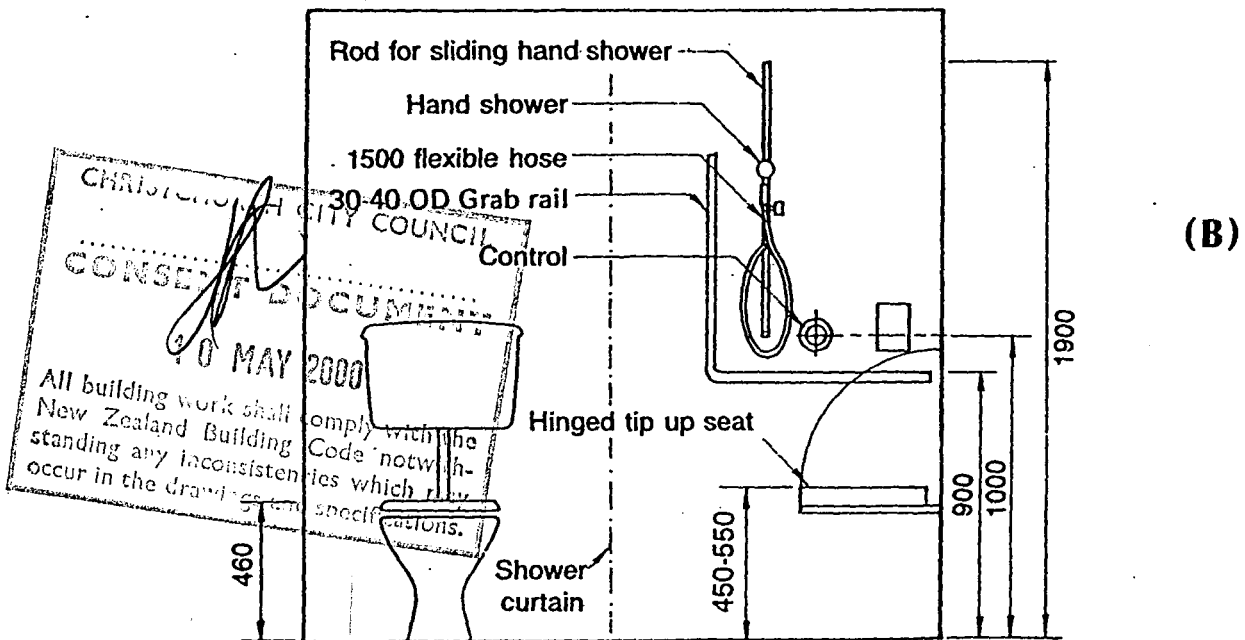
BLU-MAD249.0151B.10

**SHEET A: WC/SHOWER DIMENSIONS
TO ACCOMPANY OUR PROPOSED
PLAN ON SHEET 3 ATTACHED.**



(A)

**Fig. 21
COMBINED TOILET AND SHOWER**



(B)

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
90 MAY 2000
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NOTES:

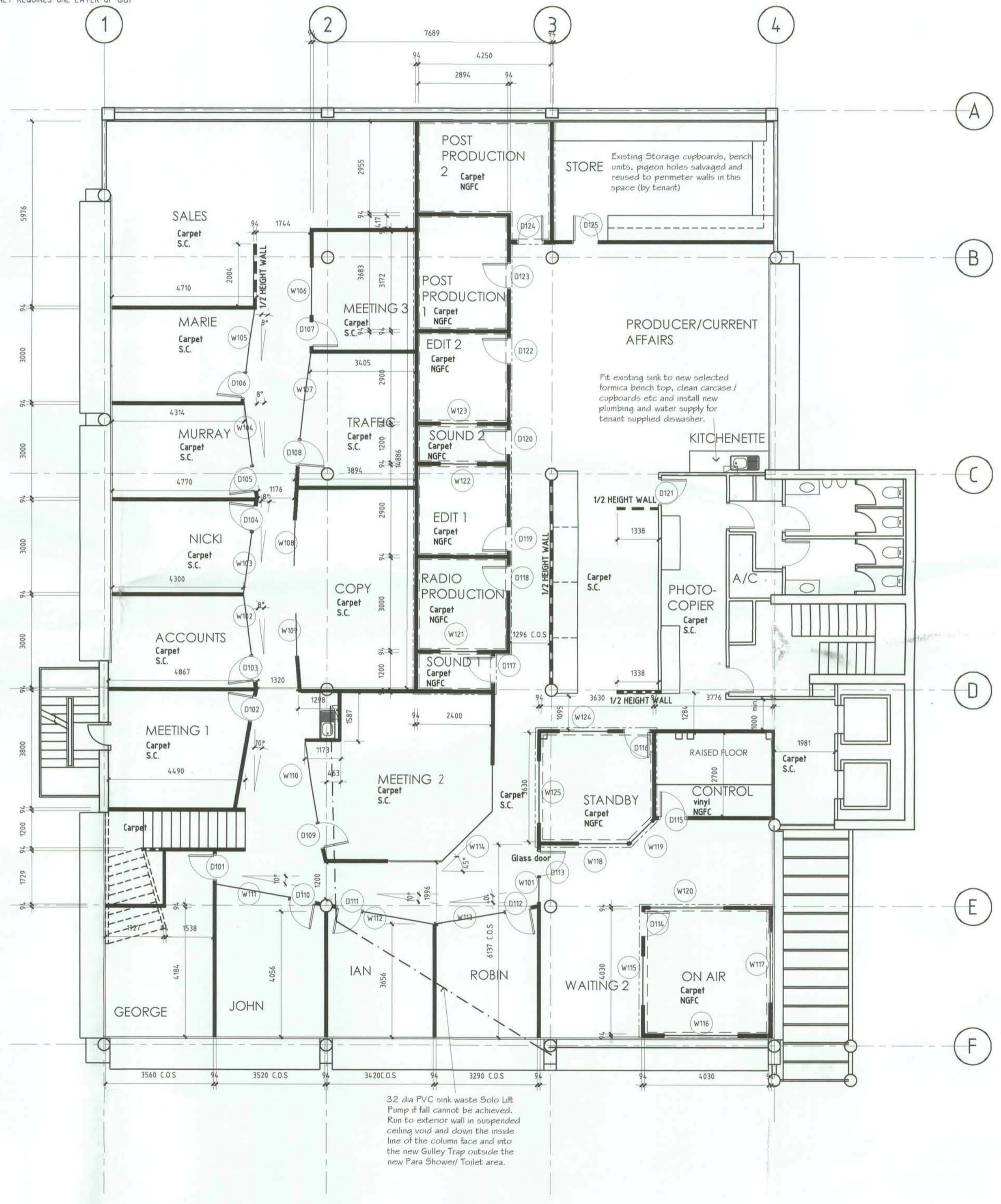
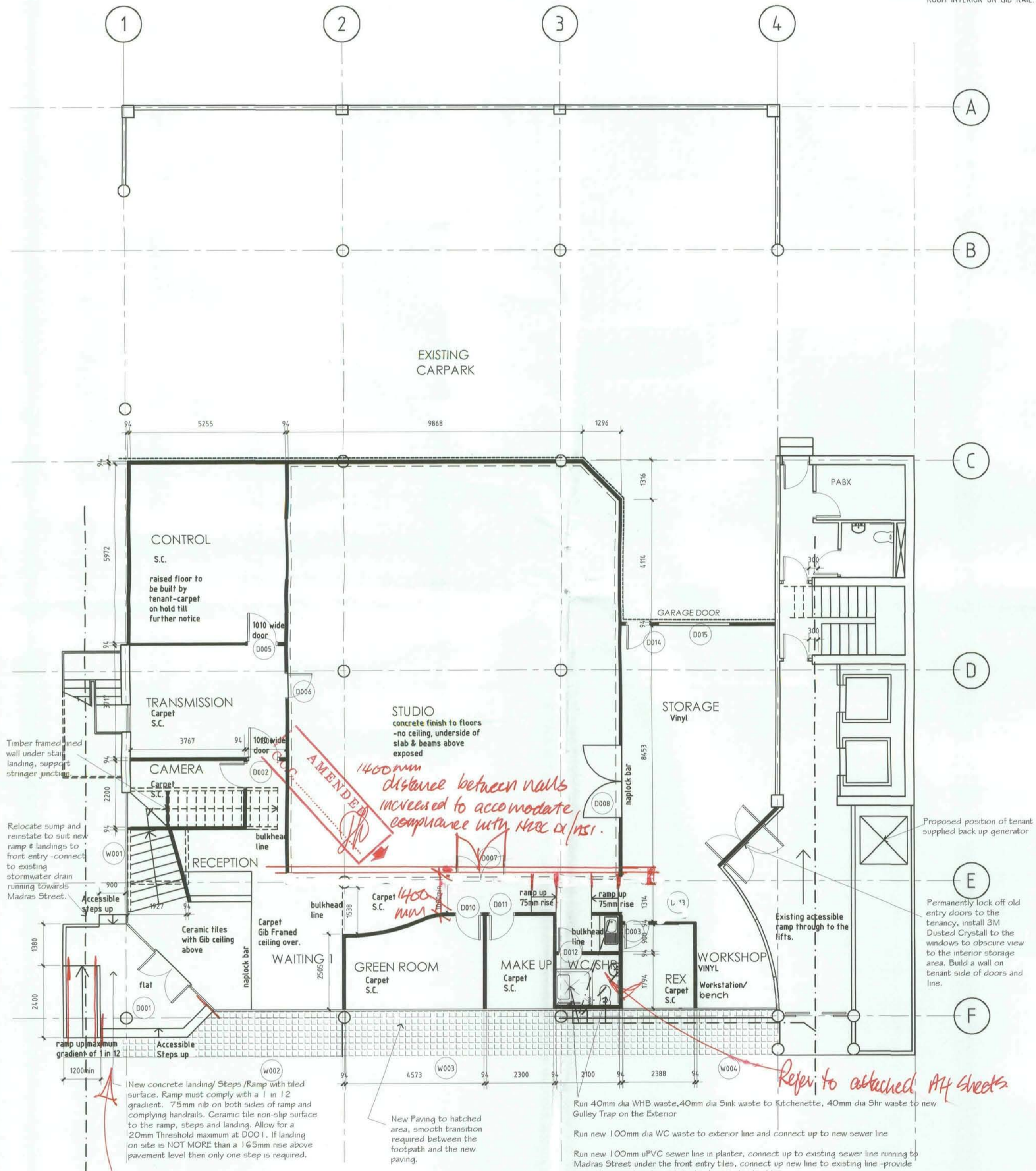
1. THE LANDING OUTSIDE DOOR MUST BE 2000mm MIN IN FRONT OF DOORS.
2. ALL STEPS SHALL BE ACCESSIBLE & COMPLY WITH NZBC D1/AS1
3. ALL RAMP SHALL BE ACCESSIBLE & COMPLY WITH NZBC D1/AS1
4. PROVIDE A NEW 75mm MINIMUM THICKNESS, 668 REINFORCED CONCRETE TOPPING SLAB TO THE GROUND FLOOR TENANCY AREA ON NEW D.P.C. (EXCEPT FOR THE WASHR, KITCHENETTE AND LANDINGS THIS AREA SHALL HAVE A TIMBER FRAMED FLOOR ON D.P.C.) 20mm COVER TO REINFORCING. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT ISSUES OF NZS 3101, NZS 3104, NZS 3109, NZS 3112, NZS 3114, 25Mpa CONCRETE STRENGTH AT 28 DAYS - U3 FINISH TO TOP OF SLAB. NOTE ALSO THAT THE SLAB FINISH TO THE STUDIO FLOOR WILL BE A FINISHED SURFACE AND SHOULD BE PROTECTED DURING OTHER WORK. (NO FLOOR COVERINGS TO THIS AREA). COVER SLAB WITH POLYTHENE AND CURE FOR THREE DAYS TO AVOID SHRINKAGE OR EDGE CURL TO THE TOPPING SLAB.
5. WC/SHOWER SHALL COMPLY WITH 'THE CODE OF PRACTICE FOR DESIGN FOR ACCESS AND USE OF BUILDINGS BY DISABLED PERSONS'. PROVIDE 20mm CROSS FALLS TO TIMBER FLOOR IN SHOWER.
6. ALL KITCHENETTES REQUIRE A SPACE FOR A SMALL UNDERBENCH FRIDGE WITH ADEQUATE VENTILATION TO THE FRIDGE UNIT AS SET DOWN BY THE FRIDGE MANUFACTURER.

WALL KEY:

- 1 LAYER OF 12.5mm NOISELINE OVER 1 LAYER 12mm PARTICLE BD. EXTERIOR OF ROOM
- 100X50 FULL HEIGHT TIMBER FRAMING @400c/c MAX WITH DWANGS @ 800mm MAX - 100mm NOISE BLOCK INSULATION TO CAVITY
- 2x12.5mm NOISELINE GIB TO ROOM INTERIOR FIXED OVER GIB RAIL
- NOTE - THE ON AIR, SOUND ROOMS 1 & 2, STANDBY & RADIO PRODUCTION ONLY WILL HAVE AN ADDITIONAL ACUSTIC WALL FRAME TO THE INTERIOR. THIS WILL CONSIST OF 50x25 TIMBER FRAME ON FLAT @600C/C IN BOTH DIRECTIONS, WITH 24mm Acoustapad INSULATION GLUED BETWEEN THE FRAME TO THE WALL STRETCH & FIX SELECTED COLOUR Fabrica Spotlight FABRIC OVER THE ACUSTIC FRAME, WRAP ALL EDGES ONE FRAME BELOW THE CHAIR RAIL AND ONE ABOVE. DIFFERENT FABRIC SPOTLIGHT FABRIC COLOURS SELECTED ABOVE AND BELOW. ACUSTIC FRAMES SHOULD BE 3M VELCRO FIXED TO THE GIB WALLS SO FABRIC CAN BE UPGRADED EASILY AS REQUIRED.
- 75mm HARDIFLEX (FOSROC FINISH) TO CARPARK SIDE OF WALL
- OVER 12mm PLYWOOD SHEET LININGS FLAMESTOP 650, 94mm FULL HEIGHT STEEL STUD FRAMING AS PER MANUFACTURERS SPECIFICATIONS. 100mm NOISE BLOCK INSULATION TO WALL CAVITY. TWO LAYERS OF 12.5mm NOISELINE GIB TO ROOM INTERIOR ON GIB RAIL. (STORAGE ONLY REQUIRES ONE LAYER OF GIB)

- 1x12.5mm NOISELINE GIB BOARD TO EXTERIOR OF ROOM
- 100mm NOISE BLOCK INSULATION TO CAVITY. 50mm STEEL STUD FRAMING FULL HEIGHT AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS
- TWO LAYERS OF 12.5mm NOISELINE GIB TO ROOM INTERIOR - ON GIB RAIL.
- CEMAC SERIES 9 WALL FRAMING STEEL WALL FRAMING, 12.5mm STANDARD GIB BOARD EACH SIDE OF WALL & 100mm NOISE BLOCK TO INTERNAL WALL CAVITY

- S.C. EXISTING 600x600 SUSPENDED CEILING MODIFIED FOR NEW ROOM LAYOUT
- NGFC 2 LAYERS OF NOISELINE GIB BOARD ON 50x40 BATTENS @600C/C MAX ON 100X50 TIMBER CEILING RUNNERS 1800C/C MAX SUPPORTED FROM THE UNDERSIDE OF THE SLAB AT MID SPAN WHERE SPANS EXCEED 4m
- 100mm NOISEBLOCK INSULATION TO THE CEILING CAVITY
- CARPET DIRECT STICK SELECTED CARPET TO THE ROOMS SHOWN
- VINYL DIRECT STICK SELECTED VINYL TO THE ROOMS SHOWN
- CONCRETE FINISHED CONCRETE SURFACE



B.C. REVISED DRAWINGS 5.5.00

A 4.5.00 BUILDING CONSENT QUERY AMENDMENTS					
No	REVISION				
SHEET TITLE					
CHTV FITOUT					
245-249 MADRAS STREET					
CHRISTCHURCH					
NEW FLOOR PLANS					
DESIGN	MV/AMC	Date	5.5.00	DRAWN SCALE	1:500
DRAWN	AMC	Date	5.5.00	ORIGINAL SHEET SIZE	A1
CHECKED		Date		CAD FILE	0027A004
APPROVED		Date		CAD PLOT SCALE	1:500
FILE No		PRINT DATE	4.5.00		

WARBURTON
TEAM ARCHITECTURE

COUNCIL COPY
RECEIVED
- 8 MAY 2000
BUILDING CONSENTS

Warburton Team Architecture Ltd
184 High Street, Dunedin
PO Box 1426, Dunedin
Telephone 03 474 1825
Facsimile 03 479 2311
Email warbarch@tra.co.nz

CHRISTCHURCH COUNCIL
CONSENT DOCUMENT
10 MAY 2000
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

THESE DRAWINGS ARE ONLY TO BE USED FOR THE PURPOSE AS STATED ABOVE, UNLESS NOTIFIED BY WARBURTON ARCHITECTS	
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION DO NOT SCALE OFF DRAWINGS	
ORIGINAL SIZE	1:500
© WARBURTON ARCHITECTS DUNEDIN G.A. ref: WJ 6.31A date 01/09/97	
PROJECT No	0027
REV	A
SHEET No	A004
OF	SHEETS

NEW GROUND FLOOR PLAN includes -Plumbing & Drainage information

NEW FIRST FLOOR PLAN includes -Plumbing & Drainage information

HANDRAILS shall comply with NZBC D1/AS1.
And as shown on plan.

ACCESSIBLE TOILET FITOUT shall comply with the New Zealand Building Code G1/AS1.

Refer to attached AH sheets

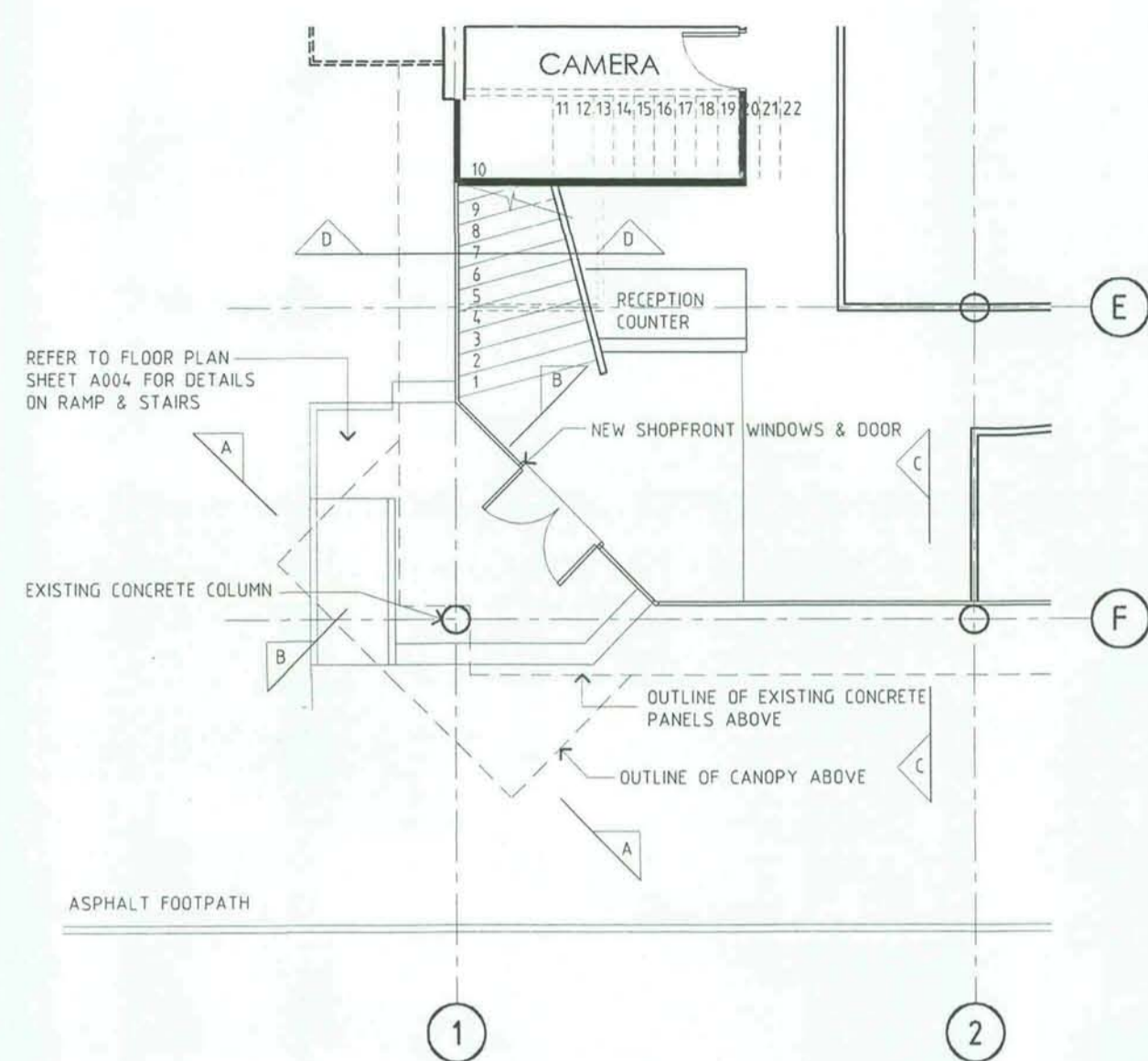
AMENDED
1400mm distance between nails increased to accommodate compliance with Max 2/MS1.

New Paving to hatched area, smooth transition required between the footpath and the new paving.

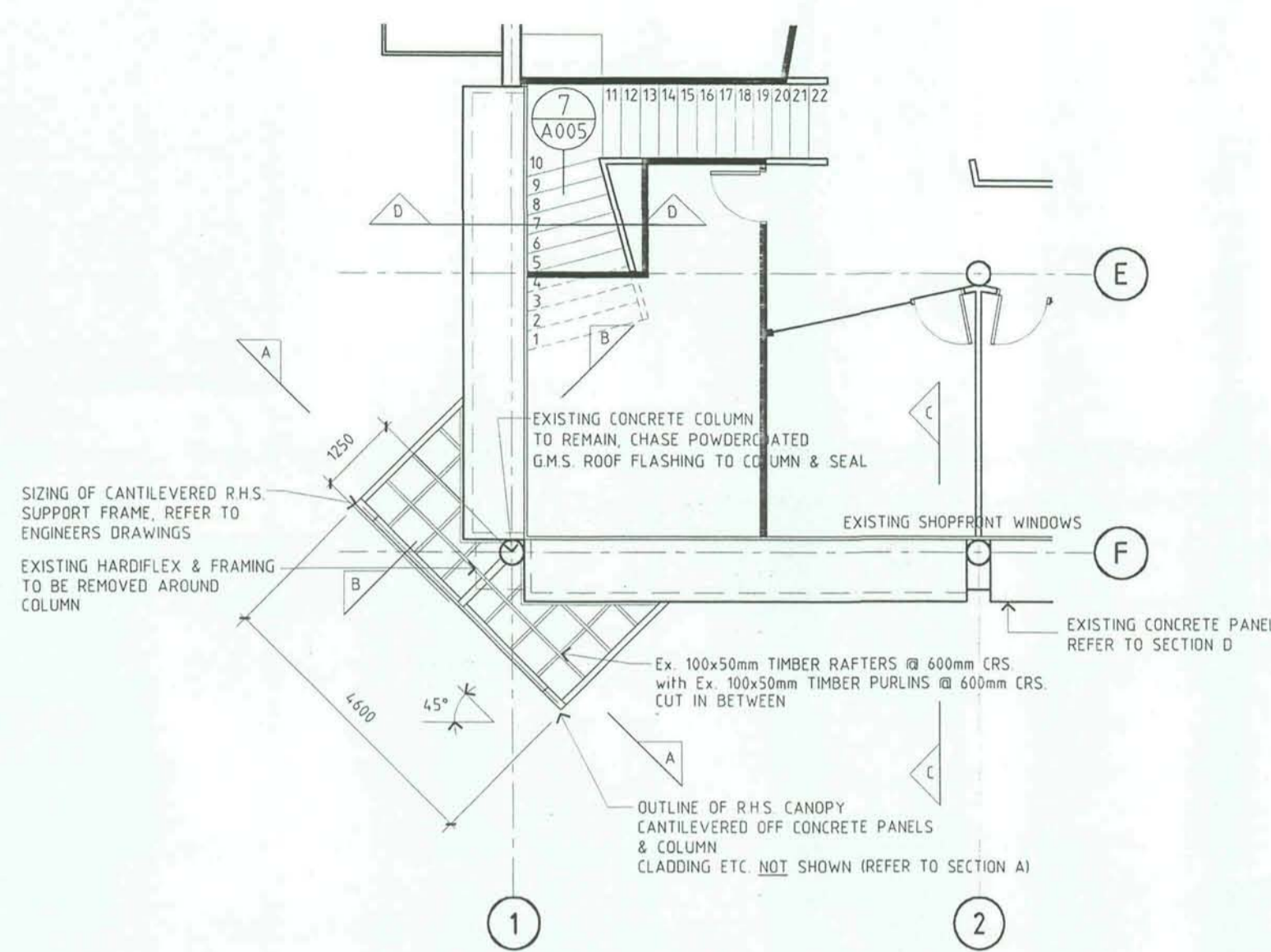
Run 40mm dia WTB waste, 40mm dia Sink waste to Kitchenette, 40mm dia 5hr waste to new Gully Trap on the Exterior
Run new 100mm dia WC waste to exterior line and connect up to new sewer line
Run new 100mm dia PVC sewer line in planter, connect up to existing sewer line running to Madras Street under the front entry tiles, connect up new line to existing line - provide inspection point and restate / make good entry tiles.

Proposed position of tenant supplied back up generator
Permanently lock old entry doors to the tenancy, install 3M Dusted Crystal to the windows to obscure view to the interior storage area. Build a wall on tenant side of doors and line.

32 dia PVC sink waste Solo Lift Pump if fall cannot be achieved. Run to exterior wall in suspended ceiling void and down the inside line of the column face and into the new Gully Trap outside the new Para Shower/ Toilet area.

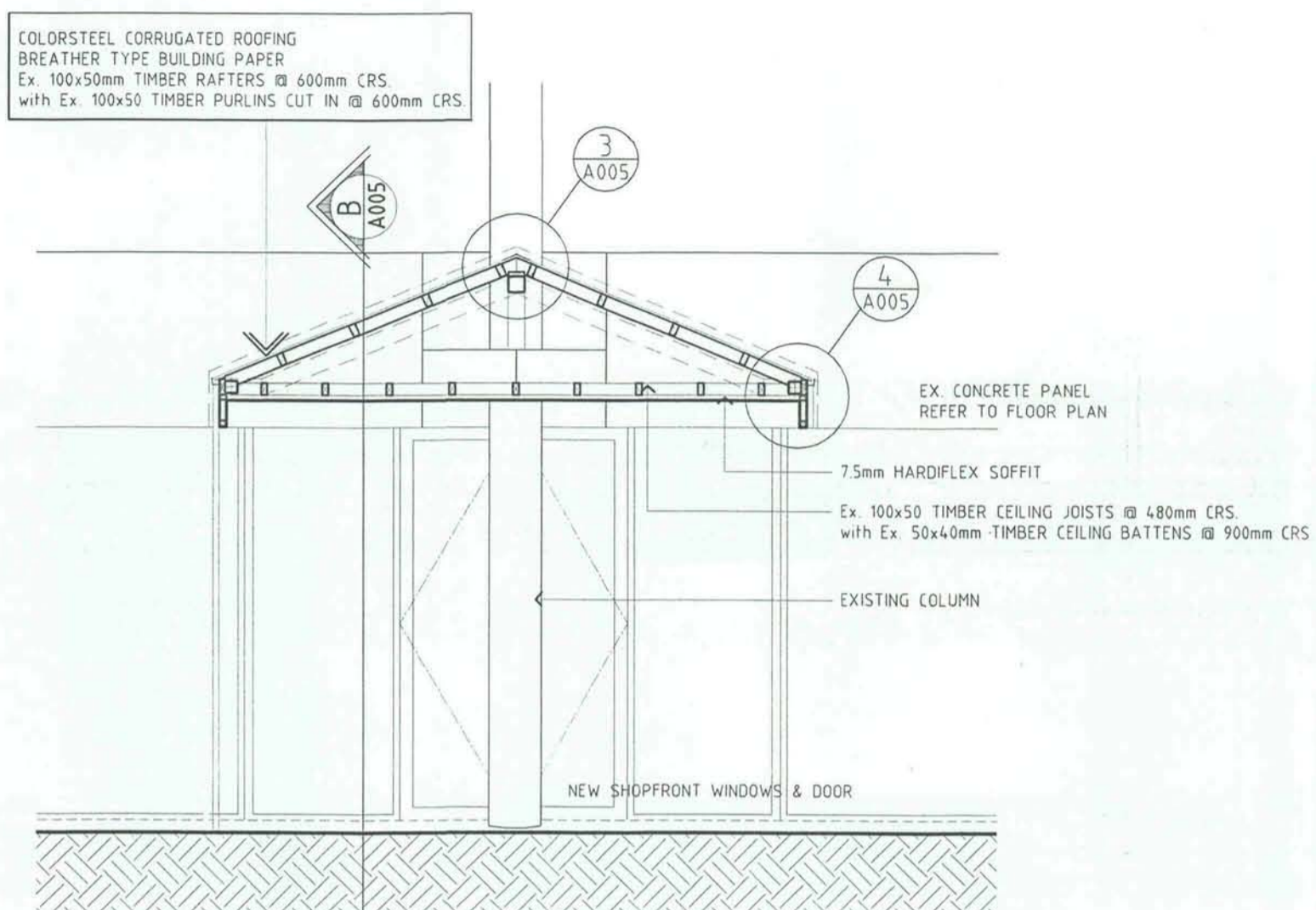


PART GROUND FLOOR PLAN
1:100

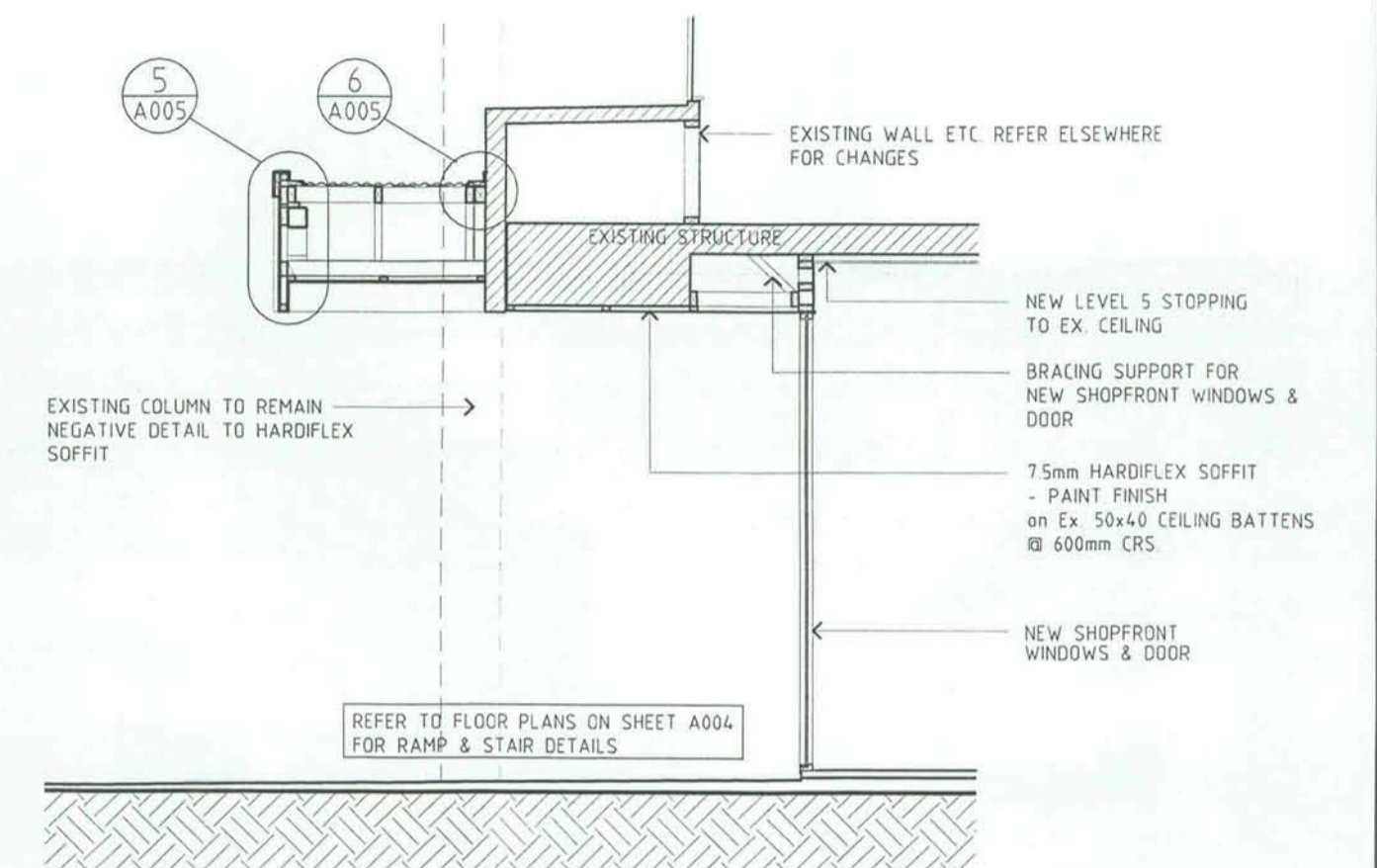


PART FIRST FLOOR PLAN
1:100

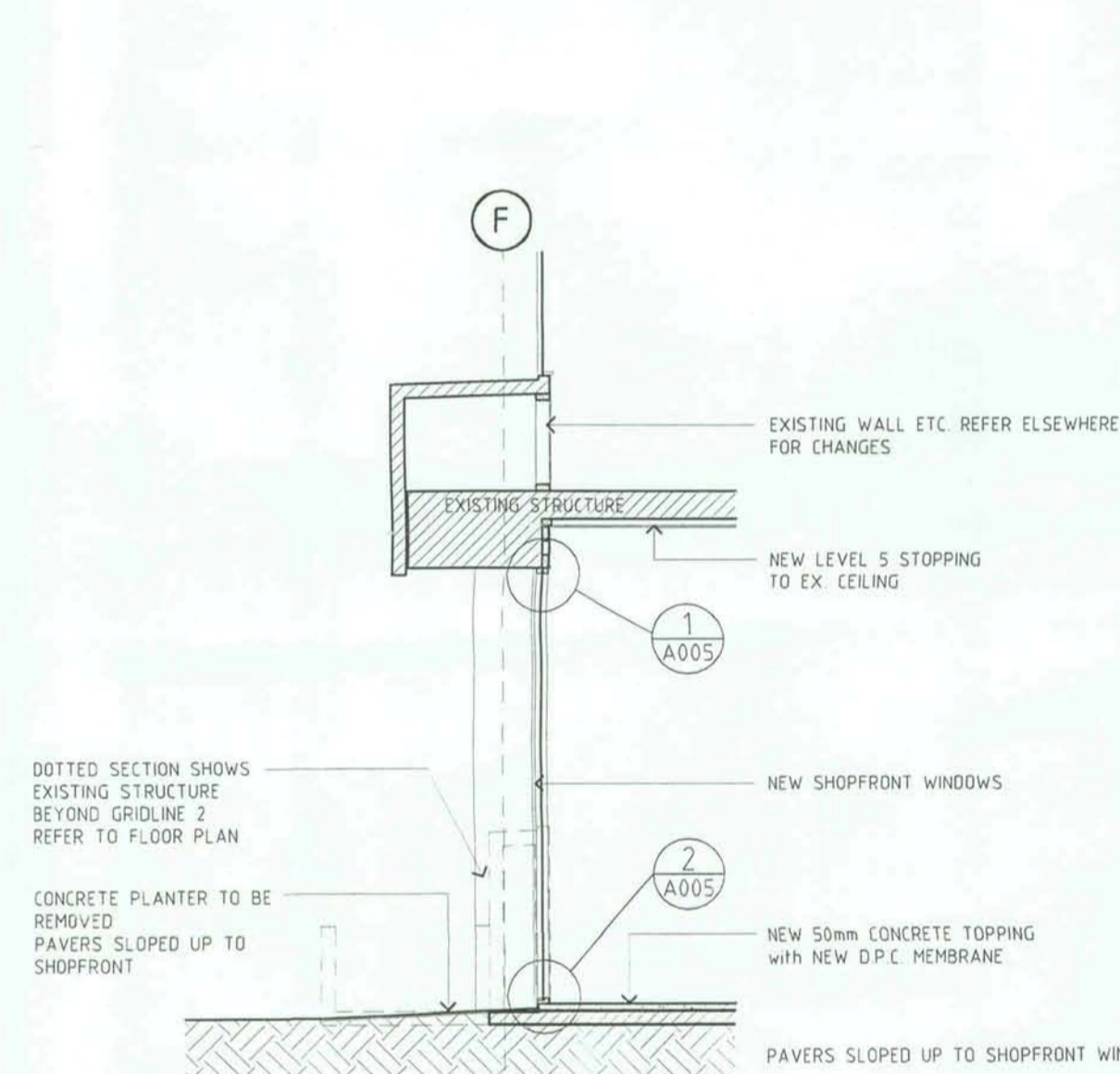
NOTE: R.H.S. SUPPORT FRAME & TIMBER RAFTERS SHOWN ONLY FOR CLARITY REFER TO SECTION A FOR CLADDING



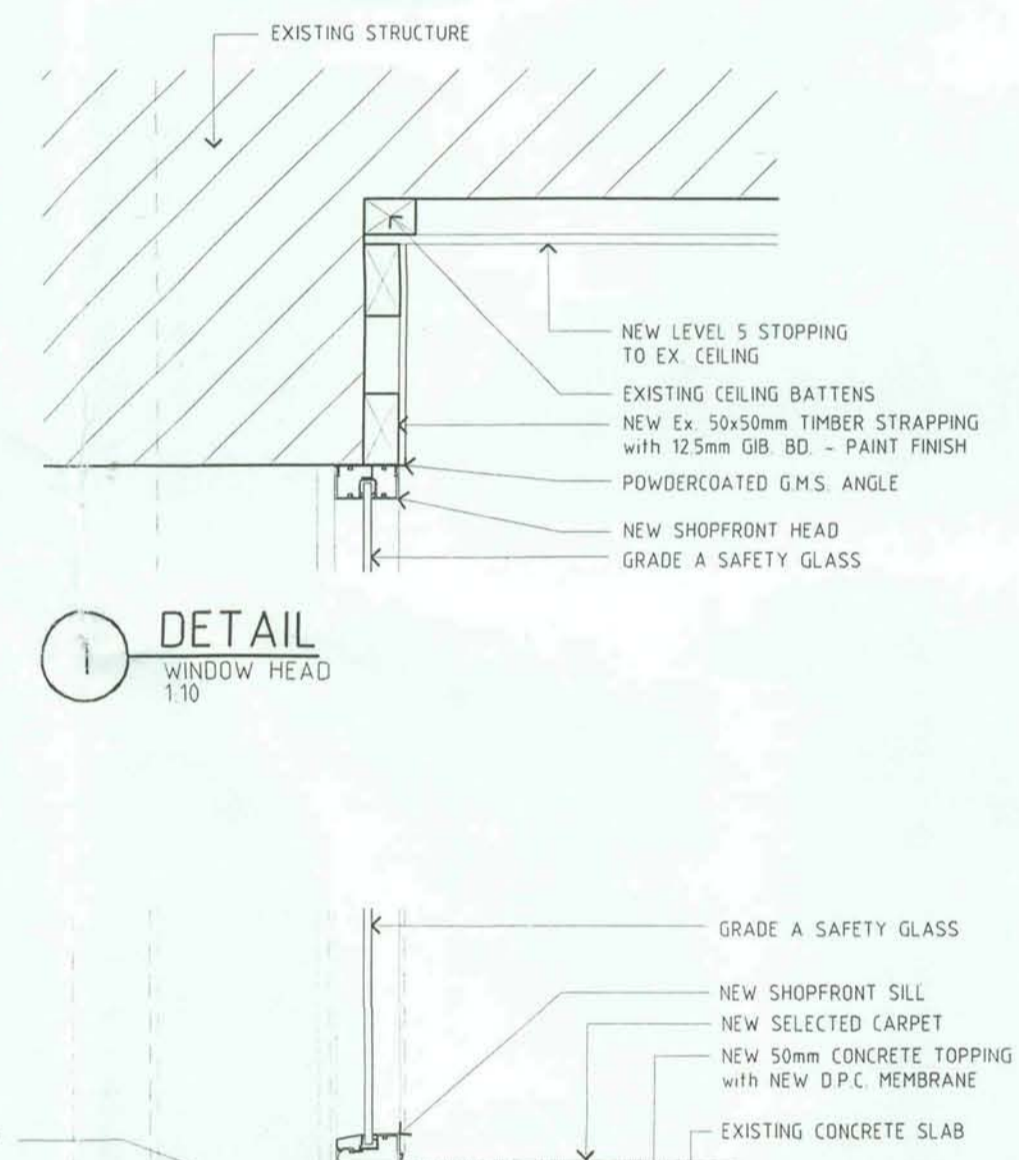
CROSS SECTION A
1:50



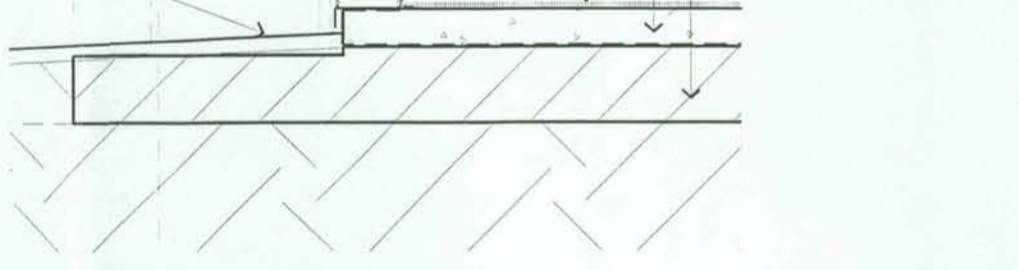
CROSS SECTION B
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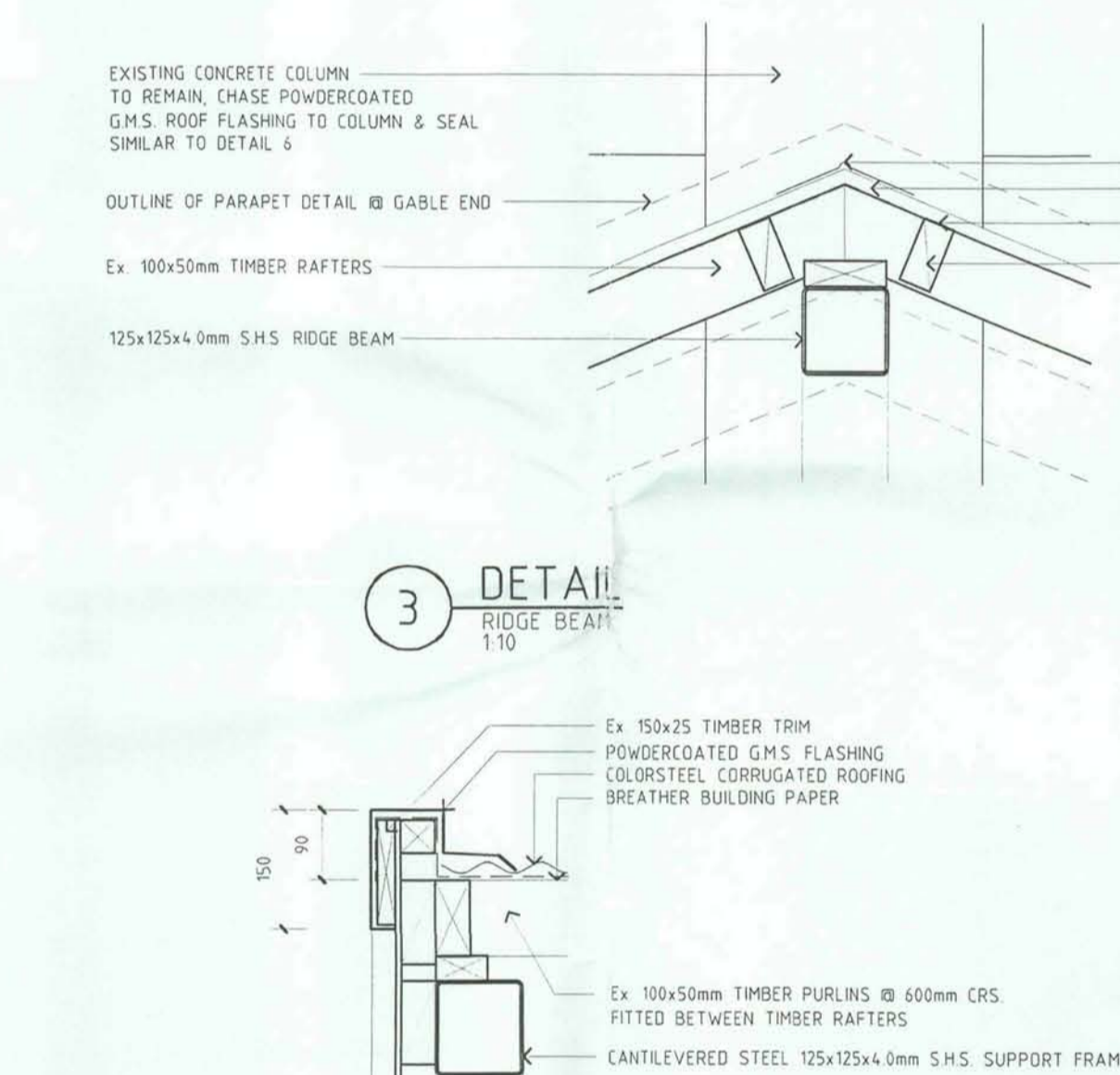
CROSS SECTION C
1:50



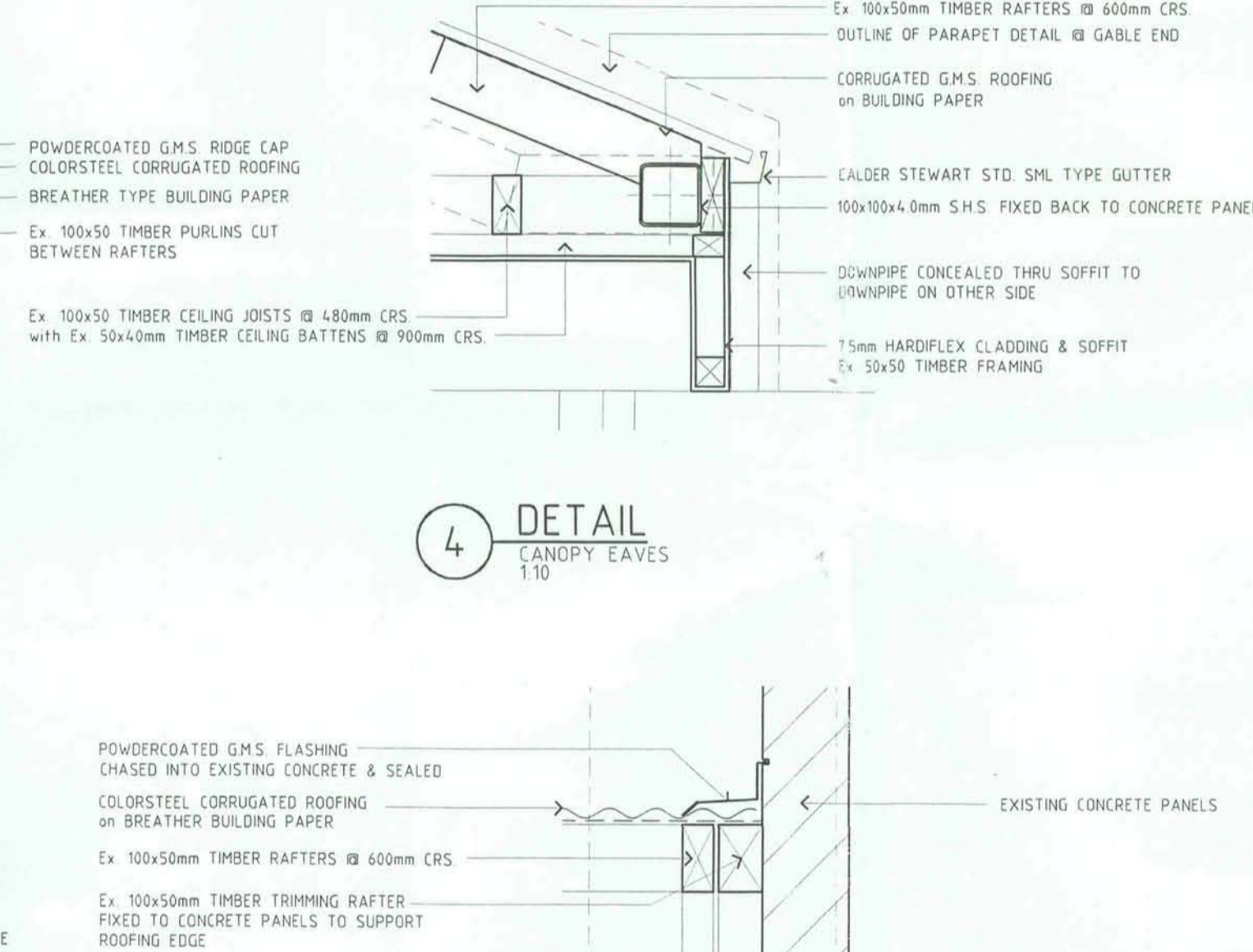
1 DETAIL WINDOW HEAD
1:10



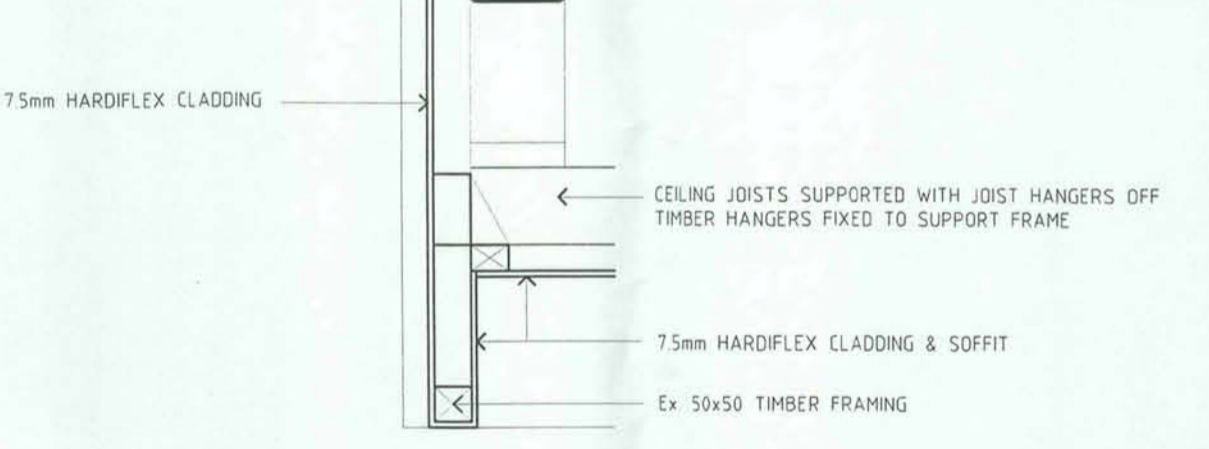
2 DETAIL WINDOW SILL
1:10



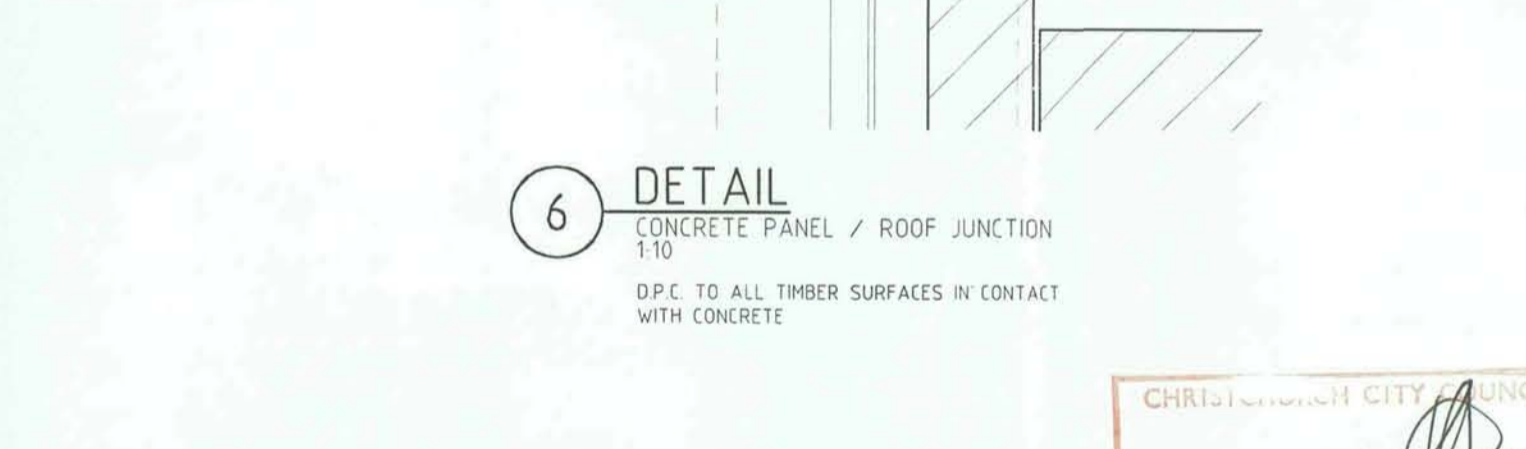
3 DETAIL RIDGE BEAM
1:10



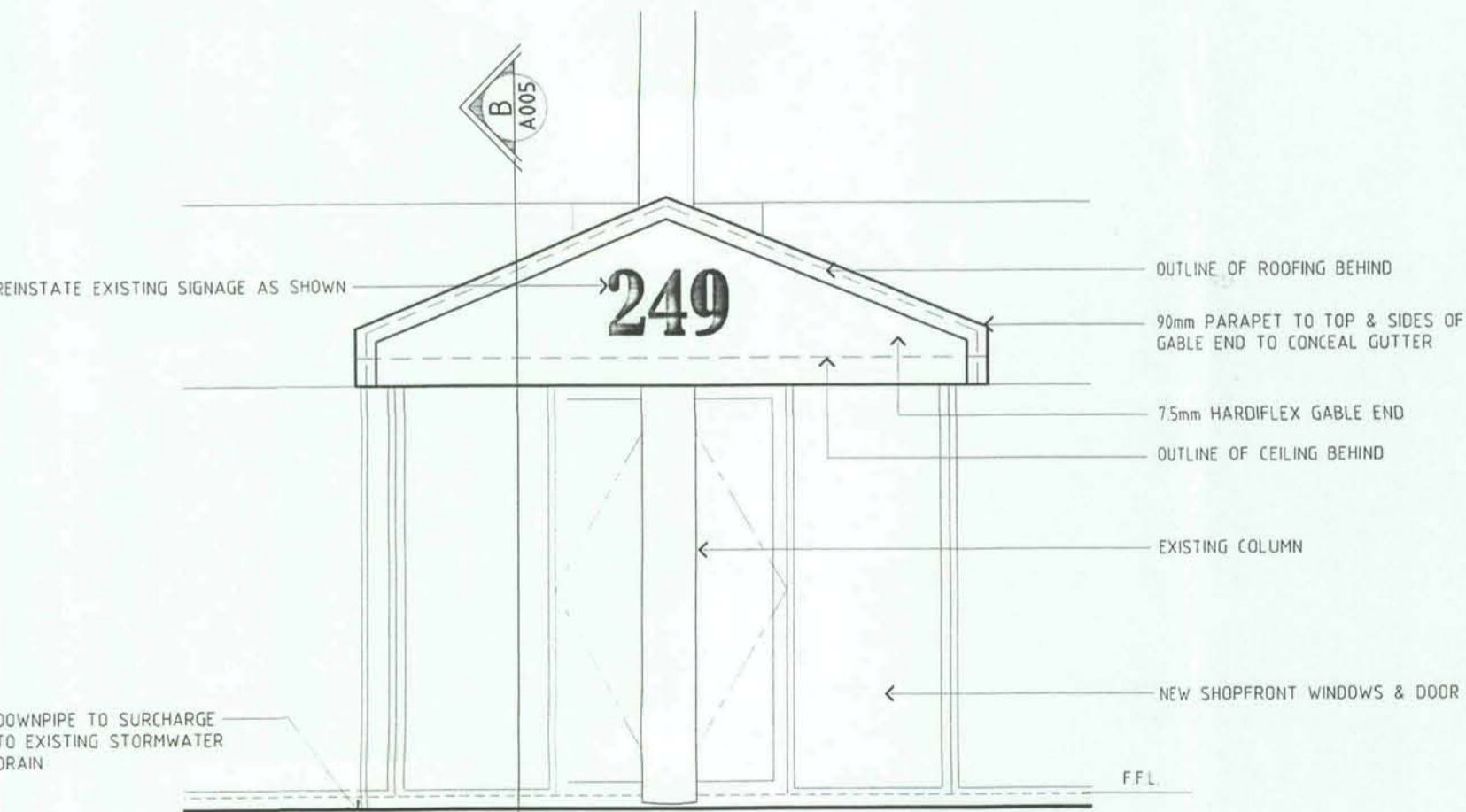
4 DETAIL CANOPY EAVES
1:10



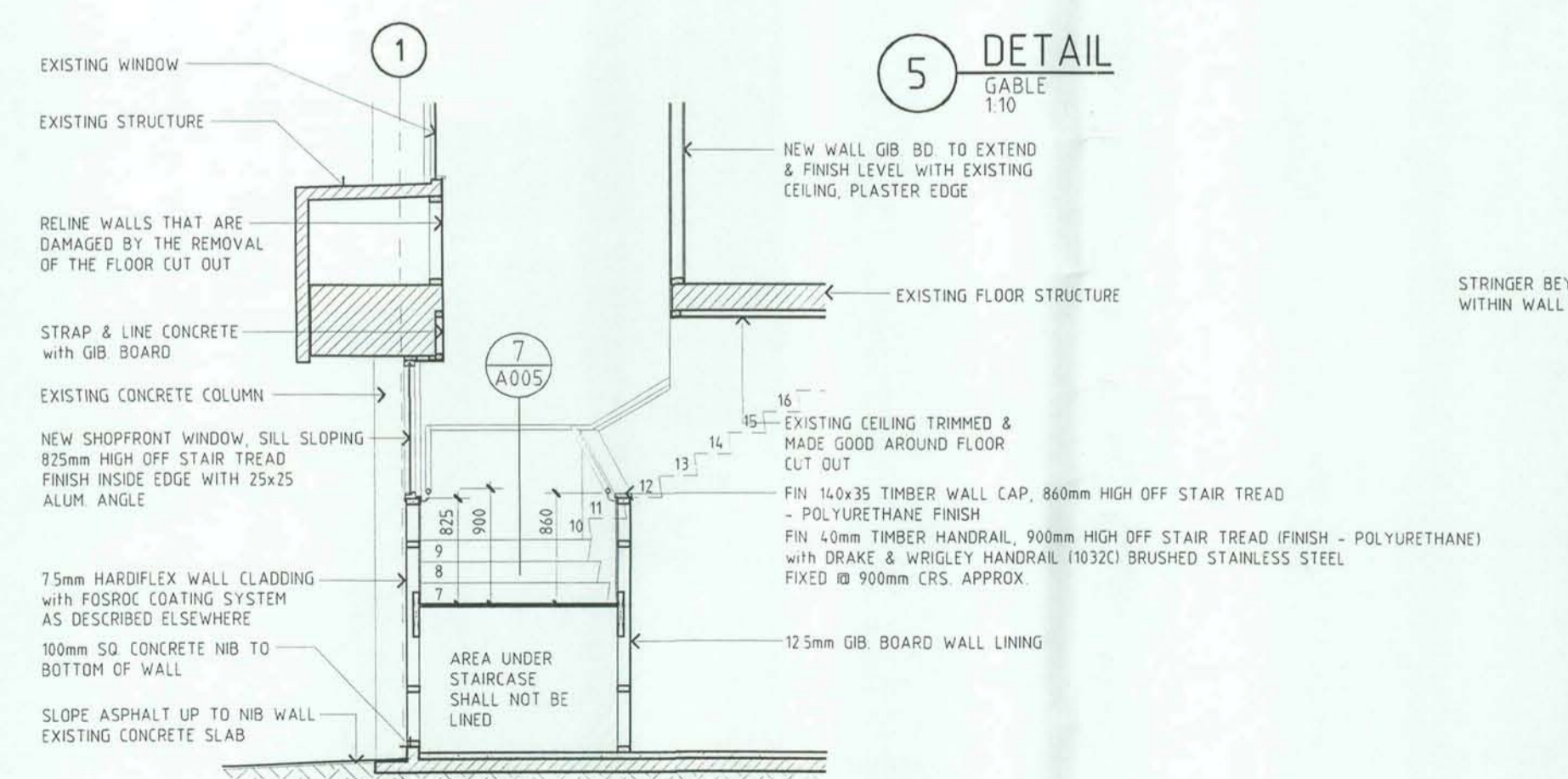
5 DETAIL GABLE
1:10



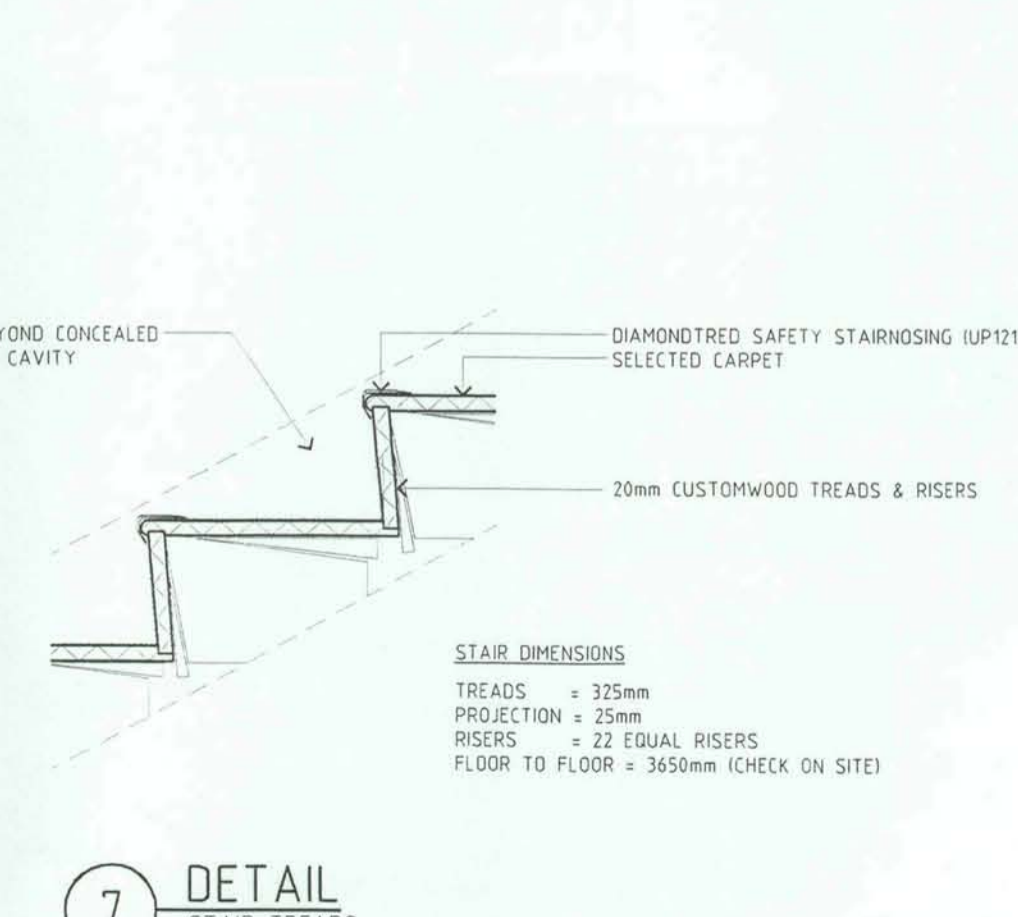
6 DETAIL CONCRETE PANEL / ROOF JUNCTION
1:10



ELEVATION 1
1:50



CROSS SECTION D
1:50



7 DETAIL STAIR TREADS
1:10

REFER TO FALLOON & WILSON STRUCTURAL DRAWINGS SHEET S2 FILE 2774 FOR STRUCTURAL DRAWINGS OF THE CANOPY
FALLOON & WILSON LIMITED
DAVID FALLOON ph. 03 379 7260

BUILDING CONSENT ISSUE 08 05 00

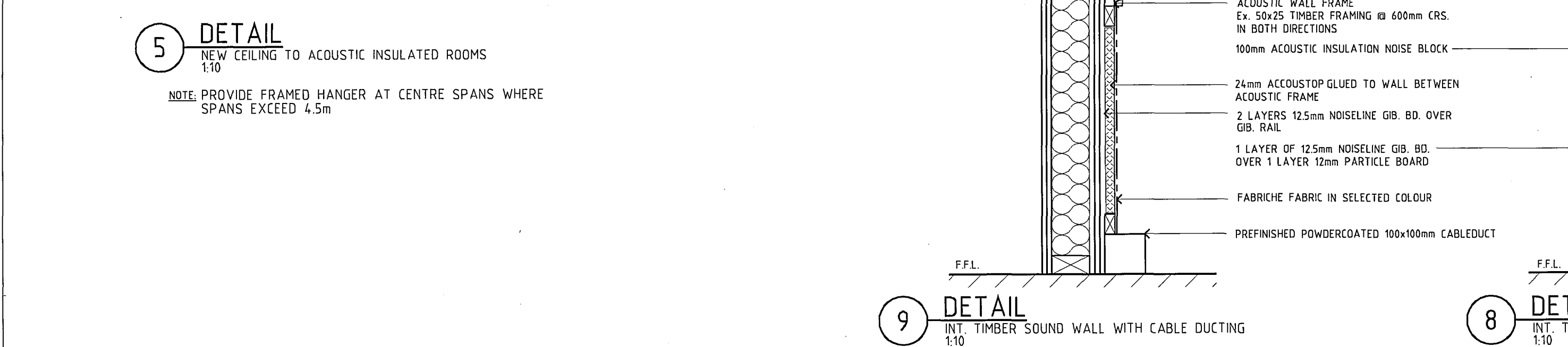
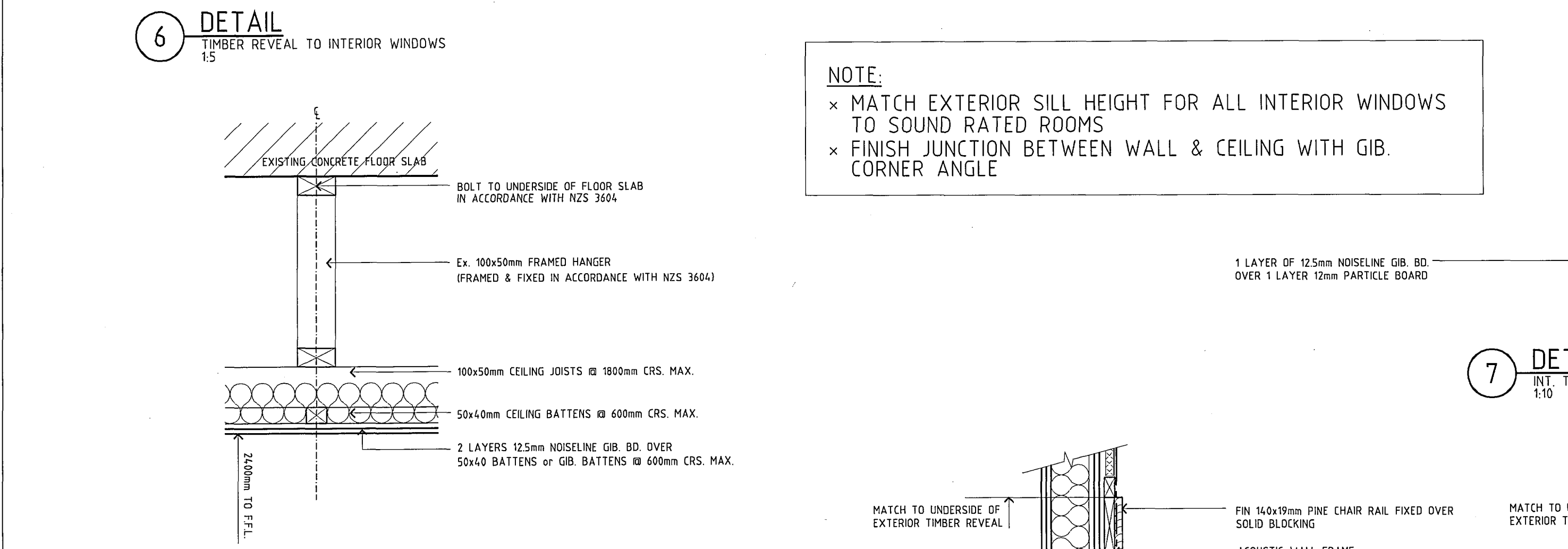
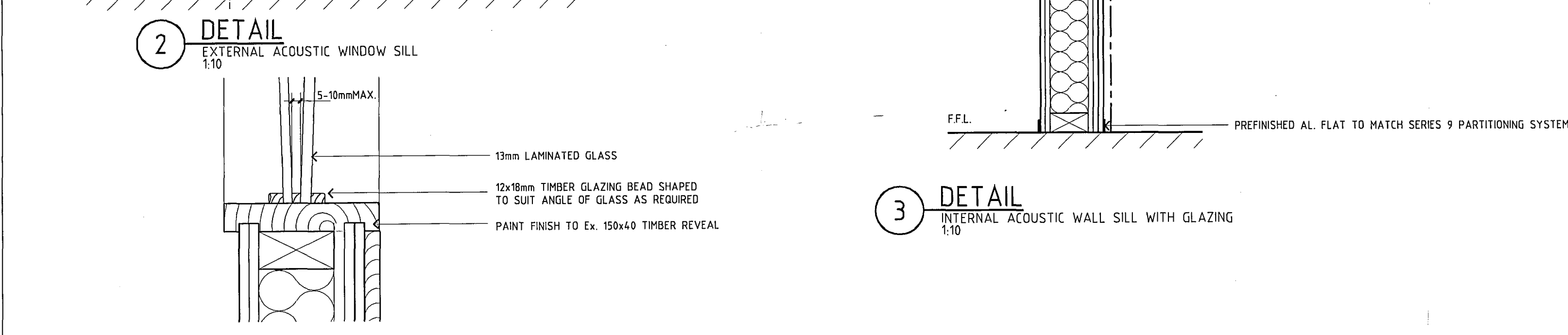
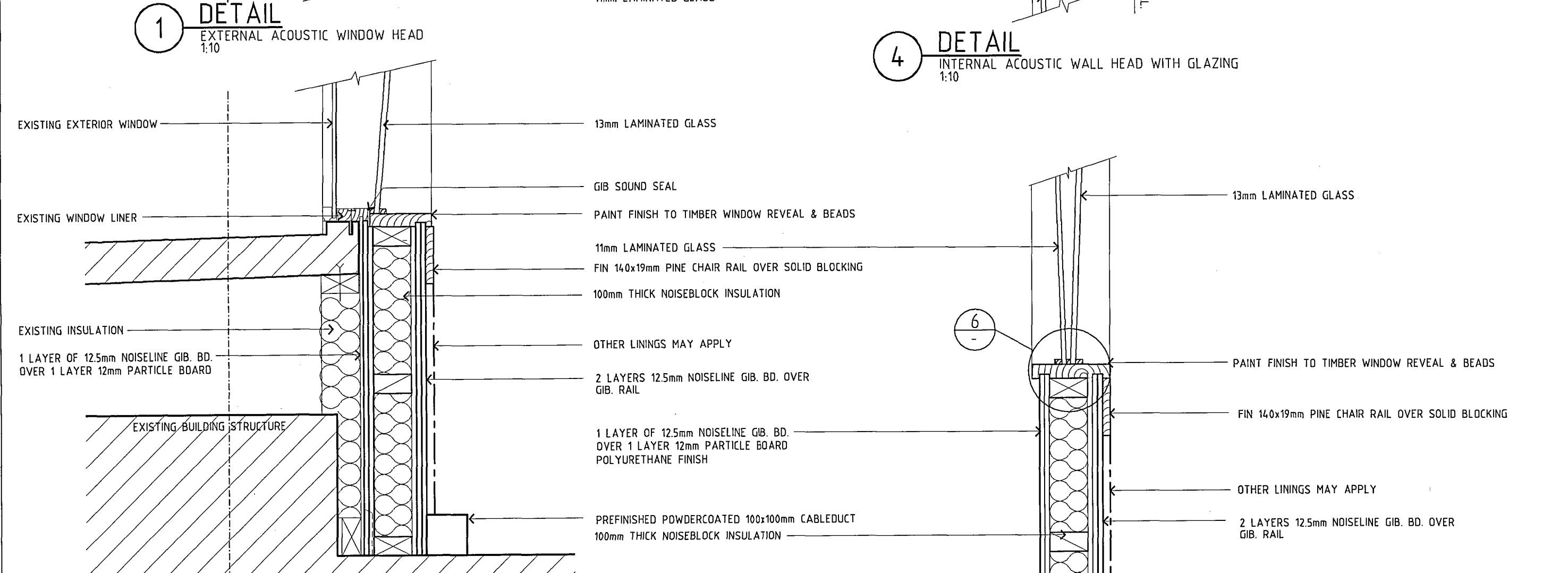
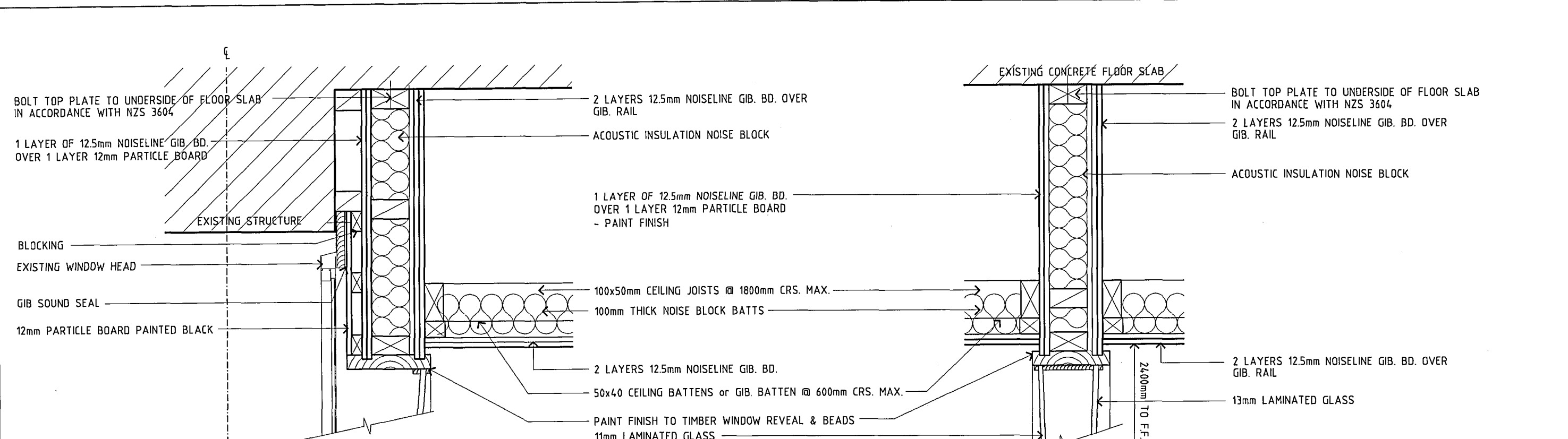
No	DATE	REVISION
SHEET TITLE		
CH. T.V. FITOUT		
245-249 MADRAS STREET		
CHRISTCHURCH		
ENTRANCE CANOPY DETAILS		
DESIGN	WTA	Date APRIL 00
DRAWN	JR	Date APRIL 00
CHECKED		Date
APPROVED		Date
FILE No.		PRINT DATE 08 05 00



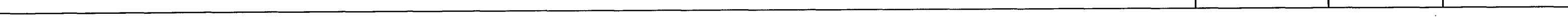
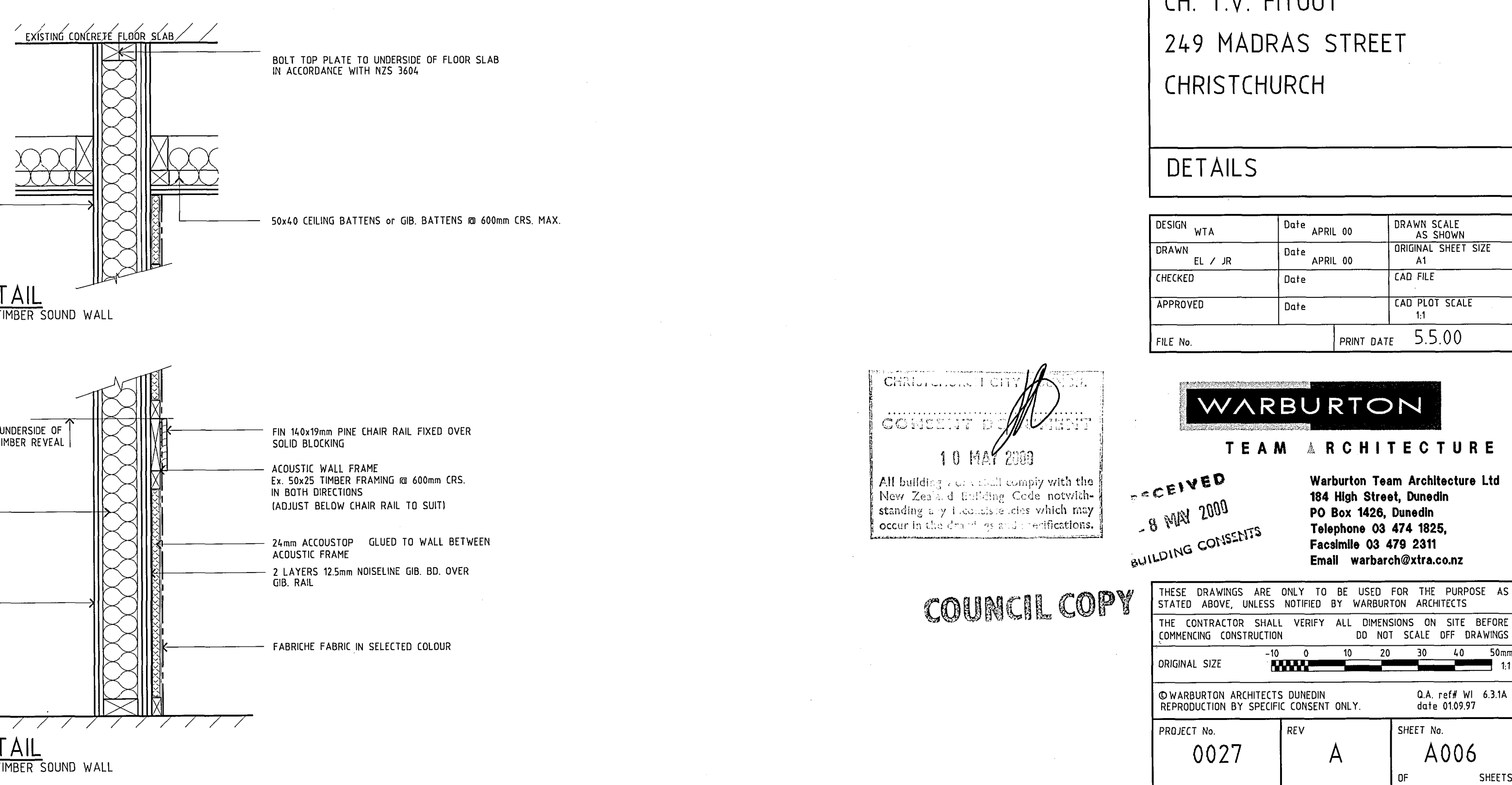
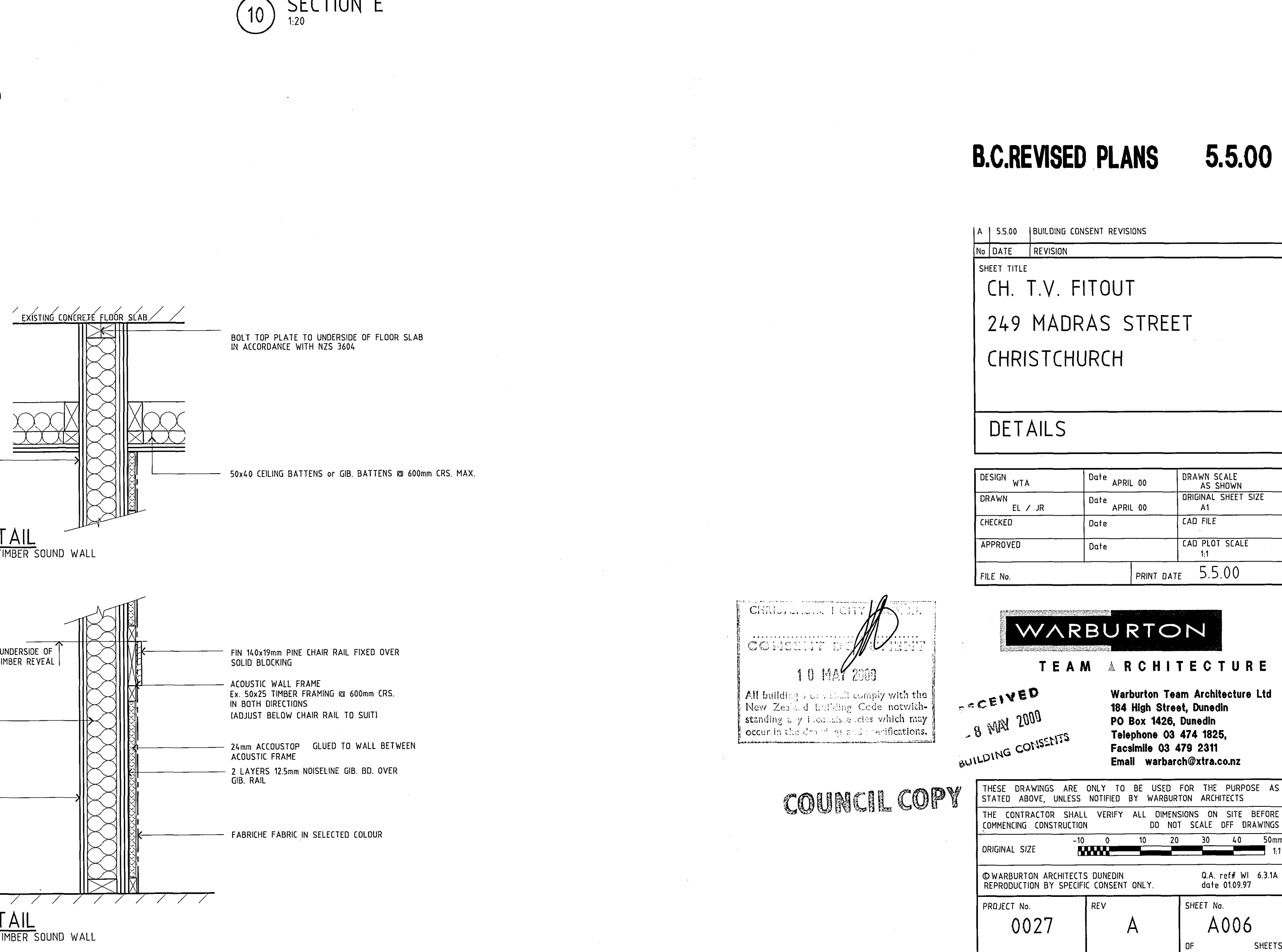
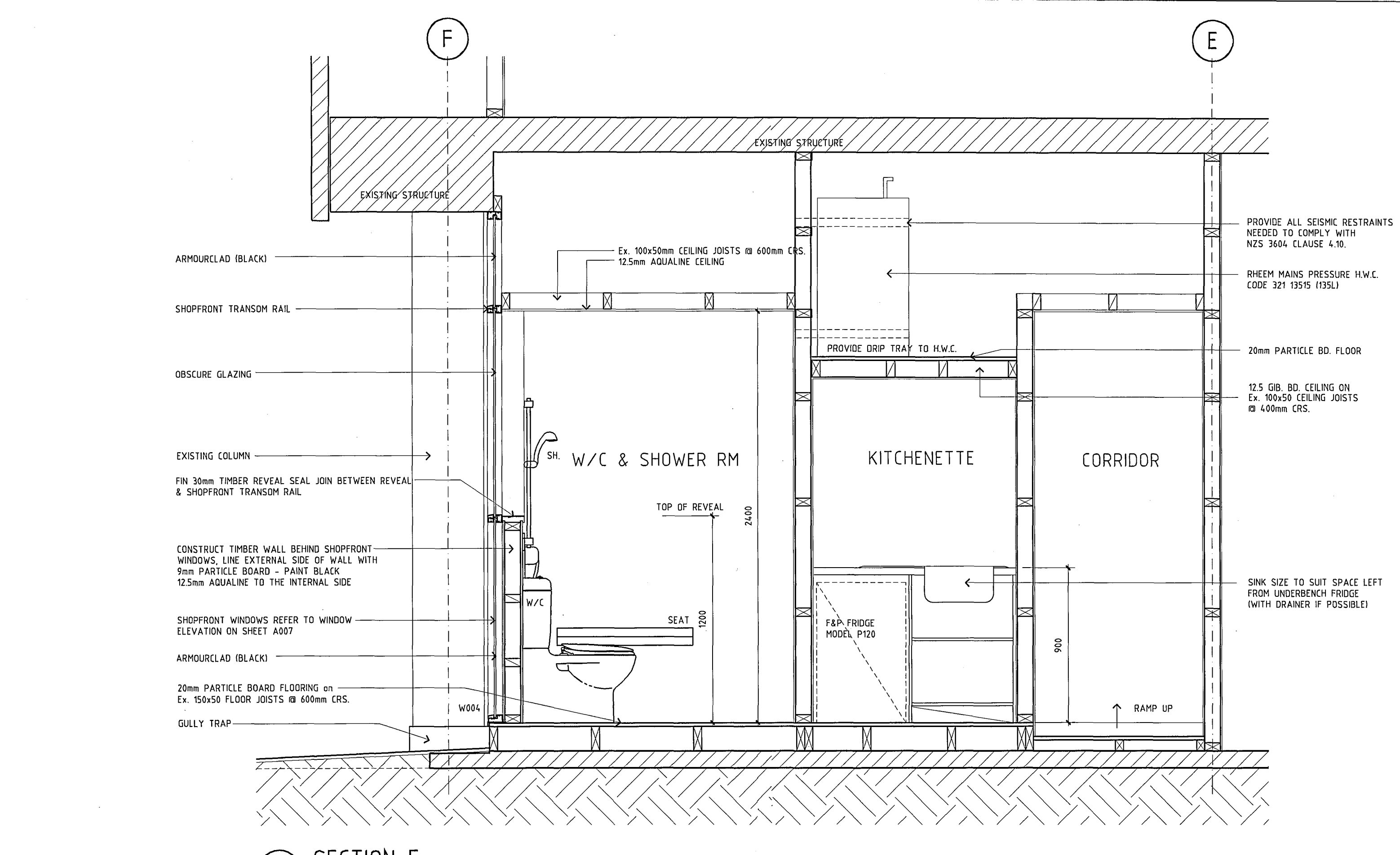
COUNCIL COPY

WARBURTON TEAM ARCHITECTURE
Warburton Team Architecture Ltd
184 High Street, Dunedin
PO Box 1426, Dunedin
Telephone 03 474 1825,
Facsimile 03 479 2311
Email warbarch@xtra.co.nz

THESE DRAWINGS ARE ONLY TO BE USED FOR THE PURPOSE AS STATED ABOVE. UNLESS NOTIFIED BY WARBURTON ARCHITECTS		
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION DO NOT SCALE OFF DRAWINGS		
ORIGINAL SIZE	1:11	
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PROJECT No	REV	SHEET No
0027		A005
		OF SHEETS



NOTE:
 x MATCH EXTERIOR SILL HEIGHT FOR ALL INTERIOR WINDOWS TO SOUND RATED ROOMS
 x FINISH JUNCTION BETWEEN WALL & CEILING WITH GIB. CORNER ANGLE



B.C. REVISED PLANS 5.5.00

A 5.5.00 BUILDING CONSENT REVISIONS		
No.	DATE	REVISION
SHEET TITLE		
CH. T.V. FITOUT 249 MADRAS STREET CHRISTCHURCH		
DETAILS		
DESIGN	WTA	Date APRIL 00
DRAWN	EL / JR	Date APRIL 00
CHECKED		Date
APPROVED		Date
FILE No.		PRINT DATE
		5.5.00
DRAWN SCALE AS SHOWN ORIGINAL SHEET SIZE A1 CAD FILE CAD PLOT SCALE 1:1		

CHRISTCHURCH CITY COUNCIL
 BUILDING CONSENT
 10 MAY 2000
 ALL BUILDING CONSENTS MUST COMPLY WITH THE NEW ZEALAND BUILDING CODE NOTWITHSTANDING ANY LOCAL BY-LAWS WHICH MAY OCCUR IN THE DISTRICT AS A RESULT OF THIS CONSENT.

WARBURTON TEAM ARCHITECTURE
 Warburton Team Architecture Ltd
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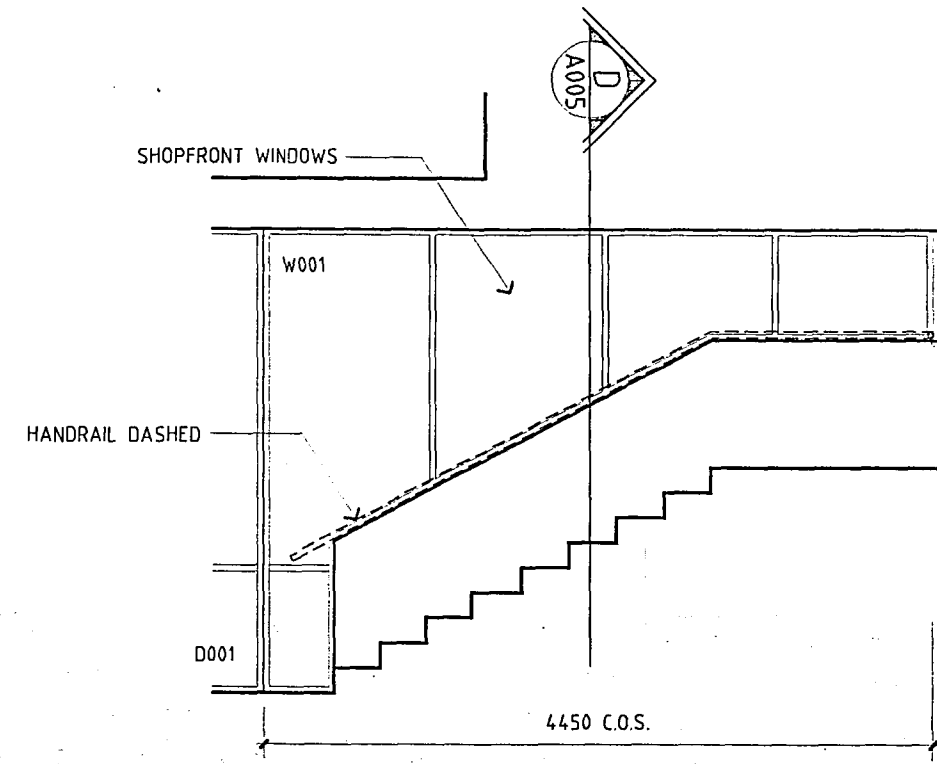
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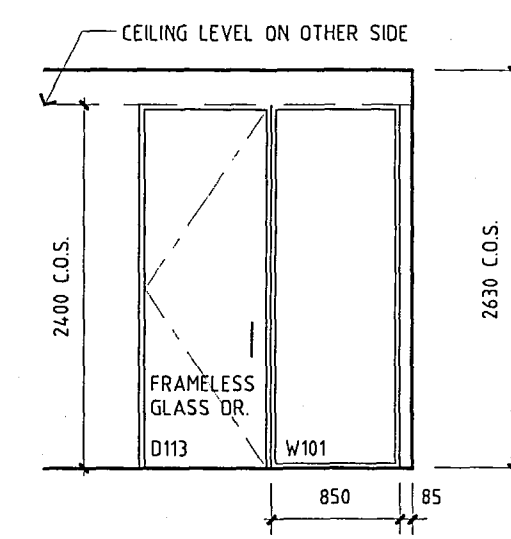
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PROJECT No.	REV	SHEET No.
0027	A	A006

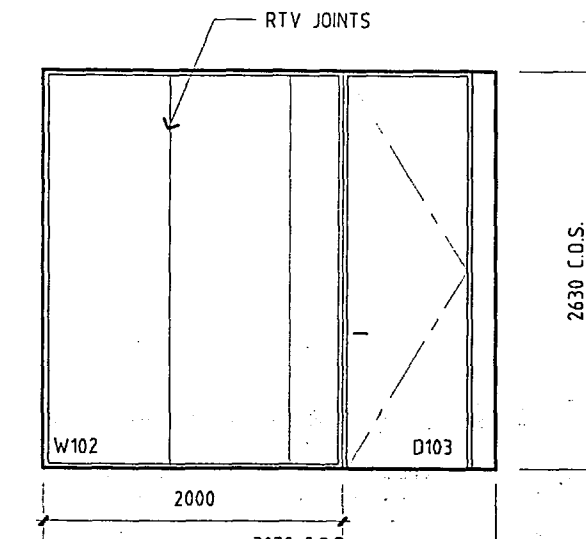
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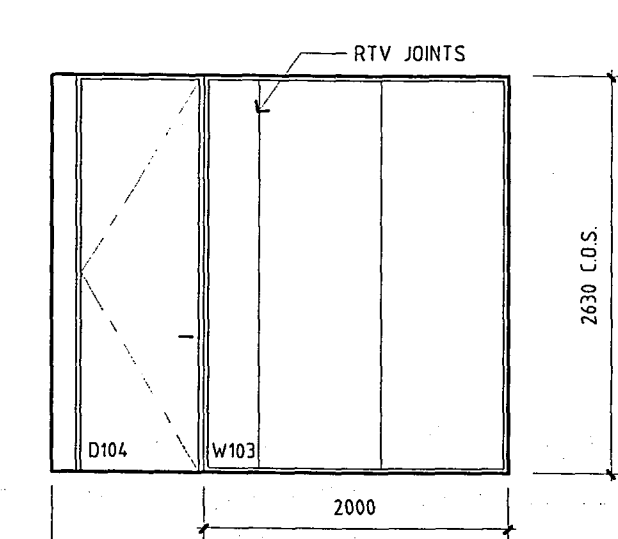
W001 WINDOW ELEVATION
SCALE 1:50



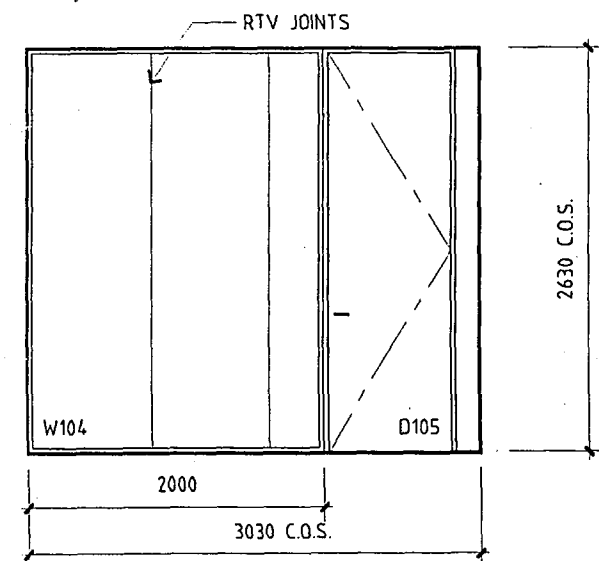
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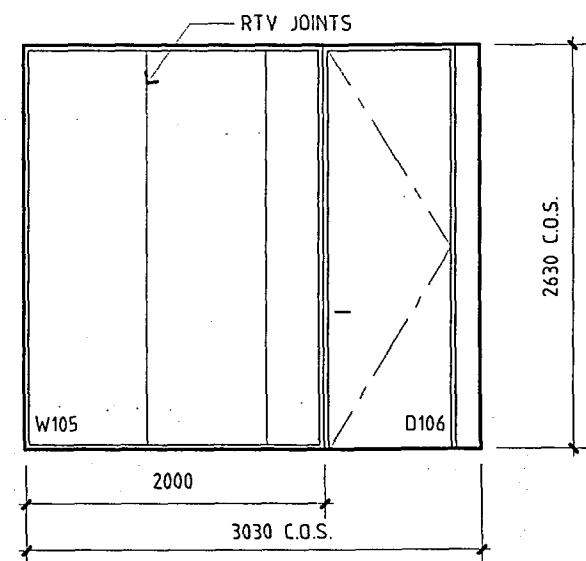
W102 WINDOW ELEVATION
SCALE 1:50



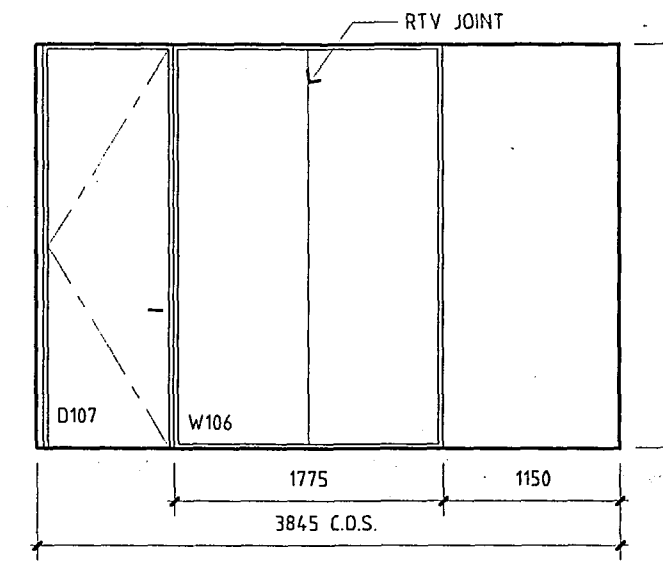
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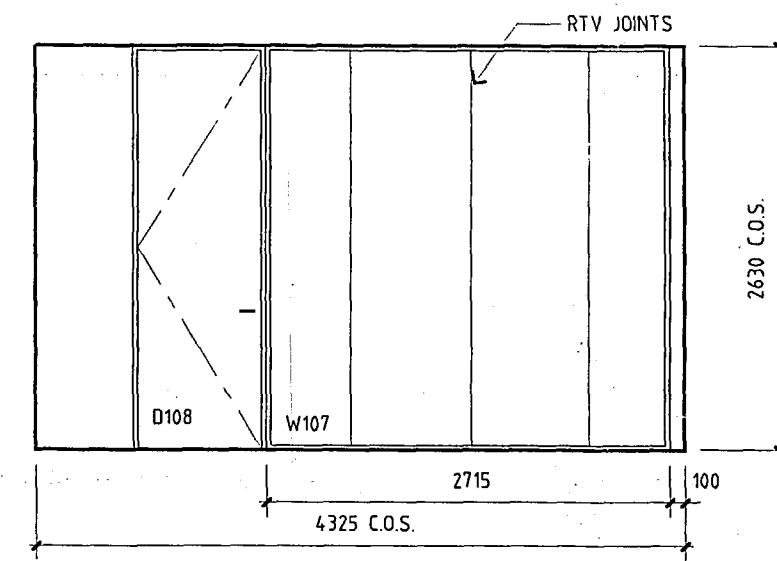
W104 WINDOW ELEVATION
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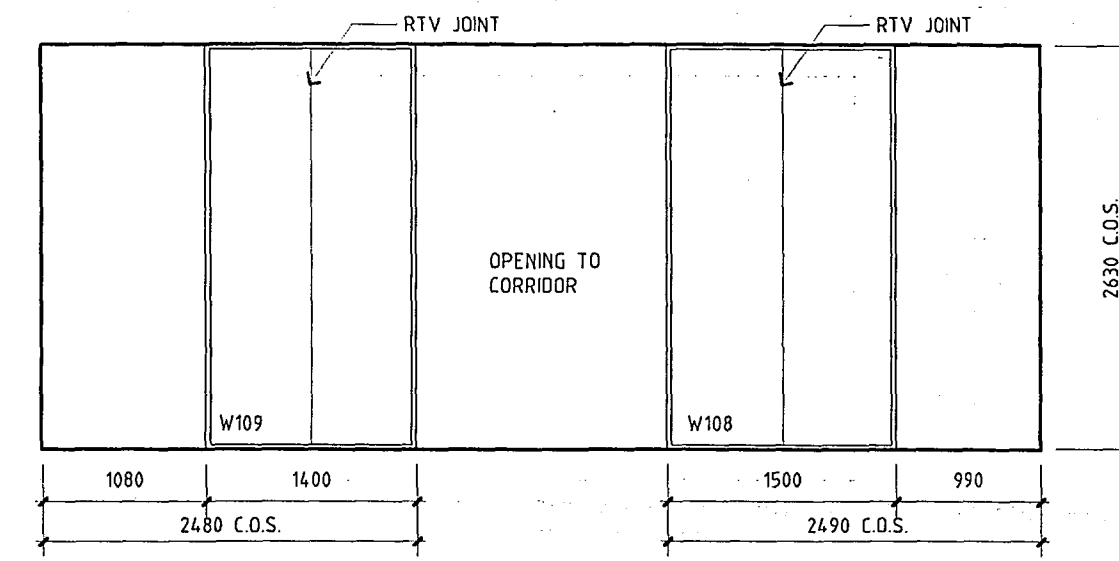
W105 WINDOW ELEVATION
SCALE 1:50



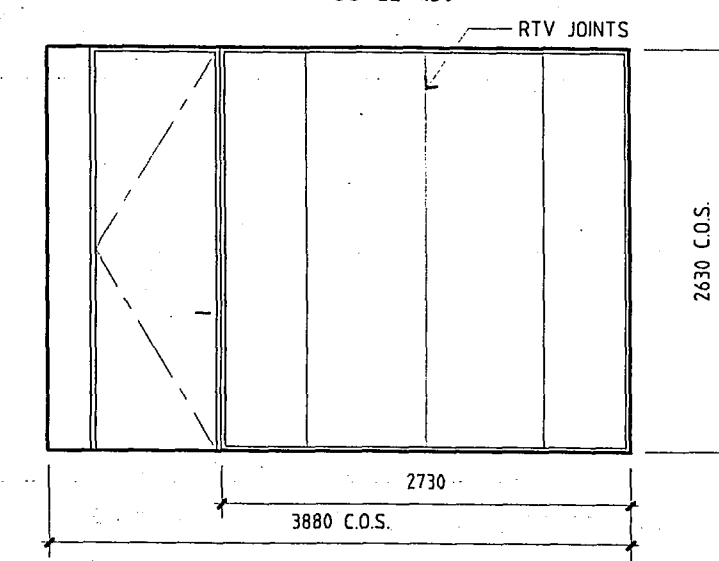
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SCALE 1:50



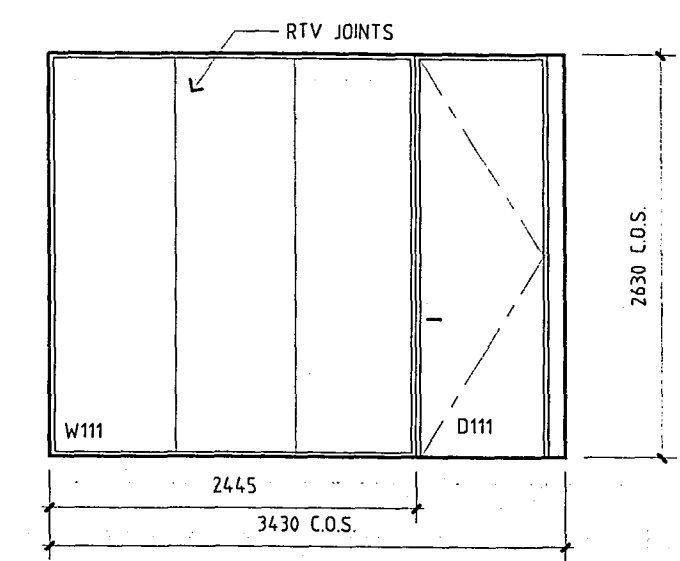
W107 WINDOW ELEVATION
SCALE 1:50



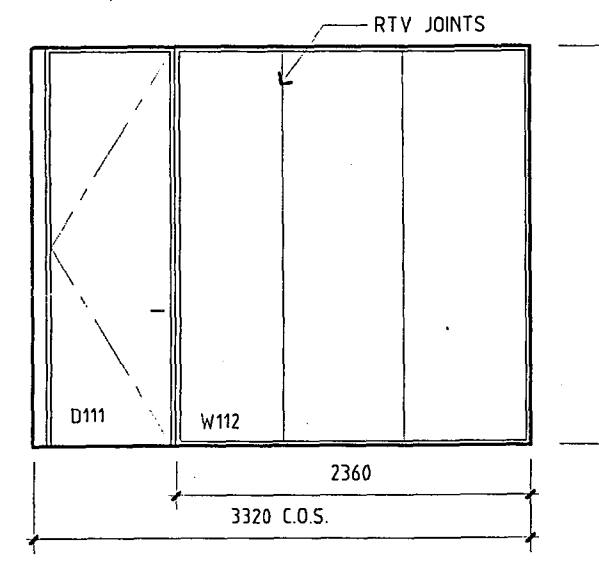
W108 & W109 WINDOW ELEVATIONS
SCALE 1:50



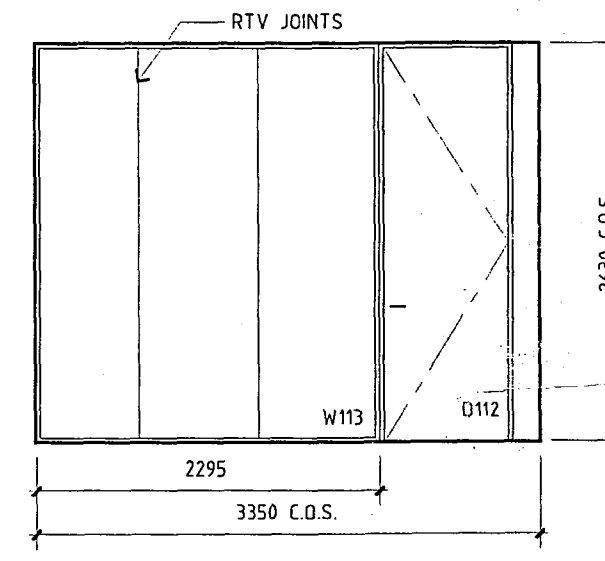
W110 WINDOW ELEVATION
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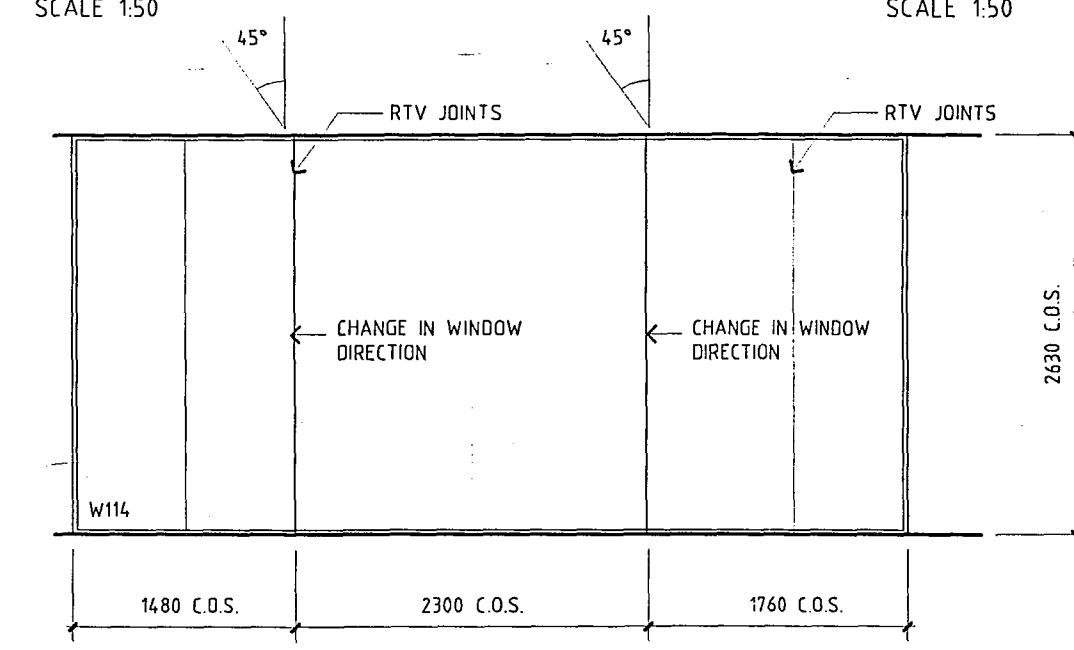
W111 WINDOW ELEVATION
SCALE 1:50



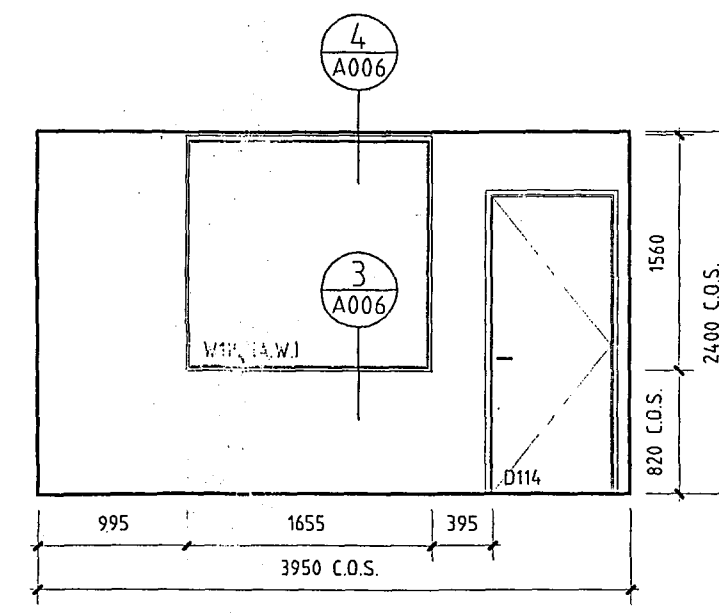
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SCALE 1:50



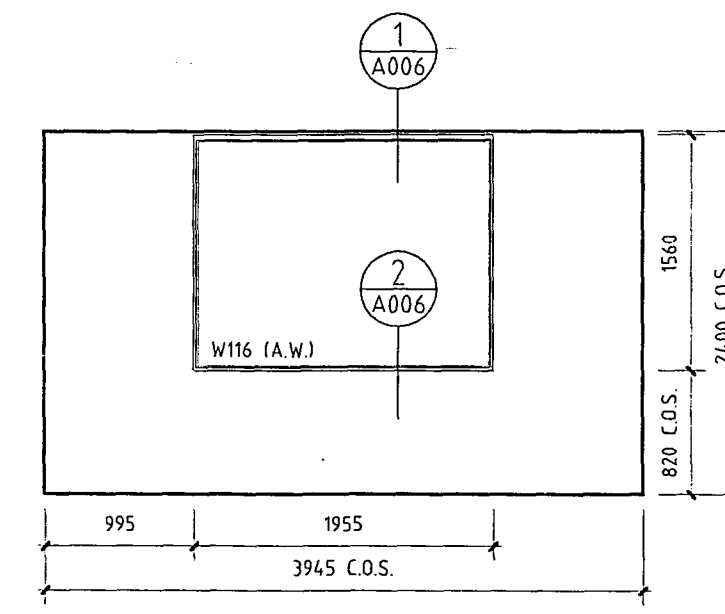
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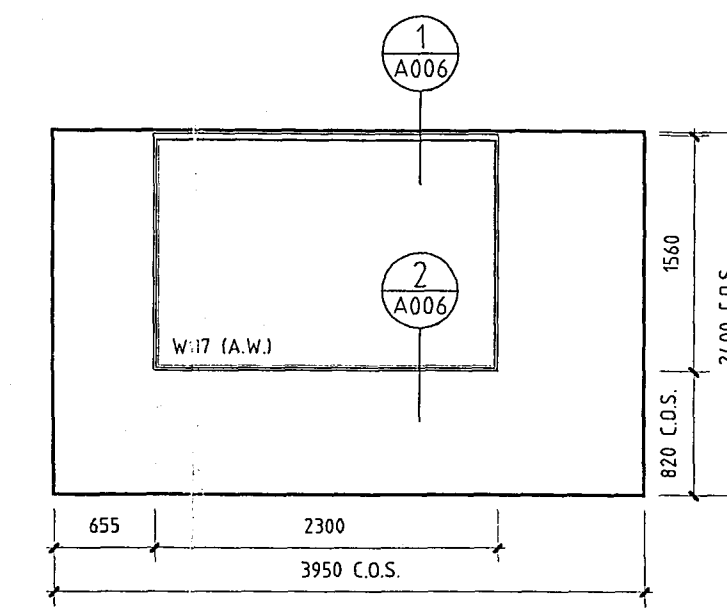
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W115 WINDOW ELEVATION
SCALE 1:50



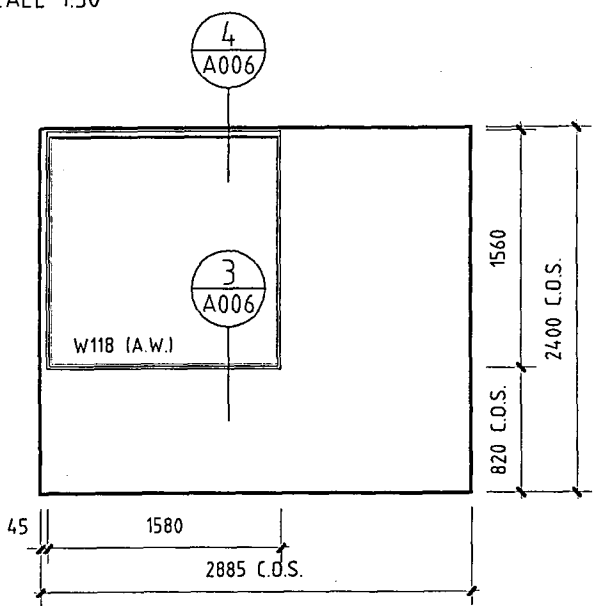
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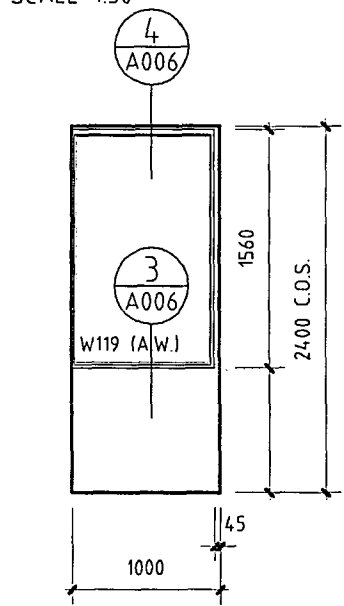
W117 WINDOW ELEVATION
SCALE 1:50

ALL WINDOWS FLOOR TO CEILING SHALL BE CEMAC SERIES 9 PARTITIONING SYSTEM.
GLAZING SHALL BE 10.38mm LAMINATED GRADE A CLEAR SAFETY GLASS WITH 3M DUSTED CRYSTAL OVER WHOLE OF THE GLASS PANELS RTV JOINTS TO GLASS APPROX. 800 CRS. AS SHOWN ON DRAWINGS.
GLASS THICKNESS MUST COMPLY WITH NZS4223 CURRENT ISSUE.
ACOUSTIC WINDOWS (A.W.) SHALL BE DETAILED AS SHOWN ON SHEET A006

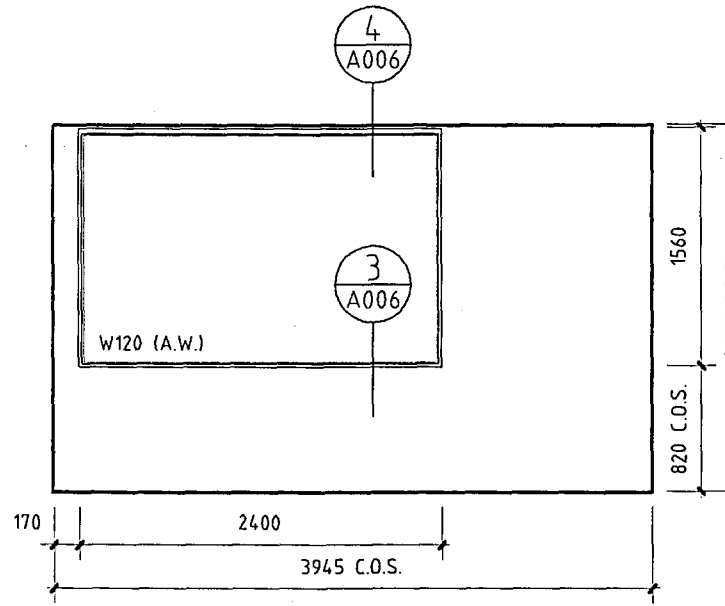
B.C. REVISED DRAWINGS 5.5.00



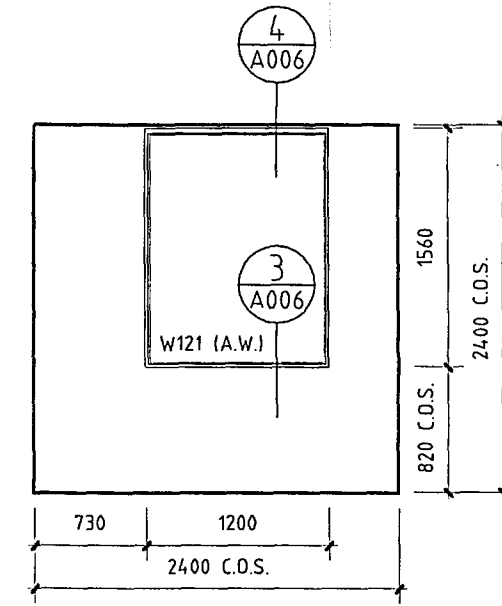
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SCALE 1:50



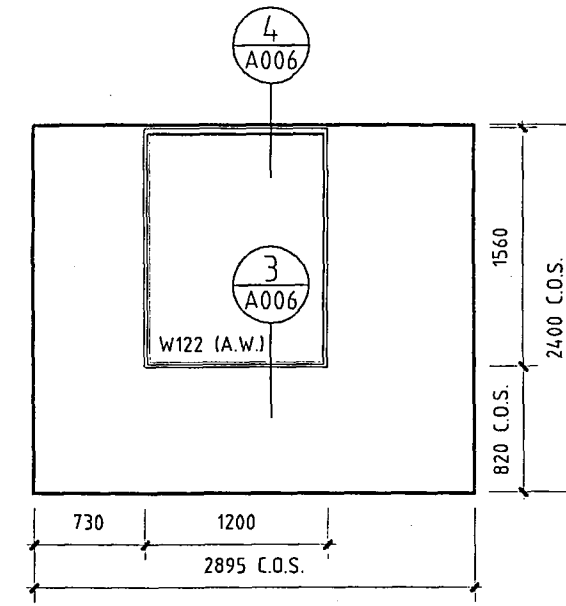
W119 WINDOW ELEVATION
SCALE 1:50



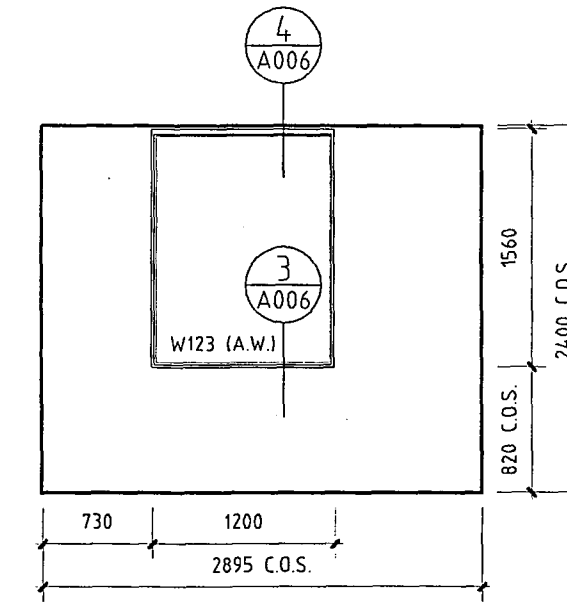
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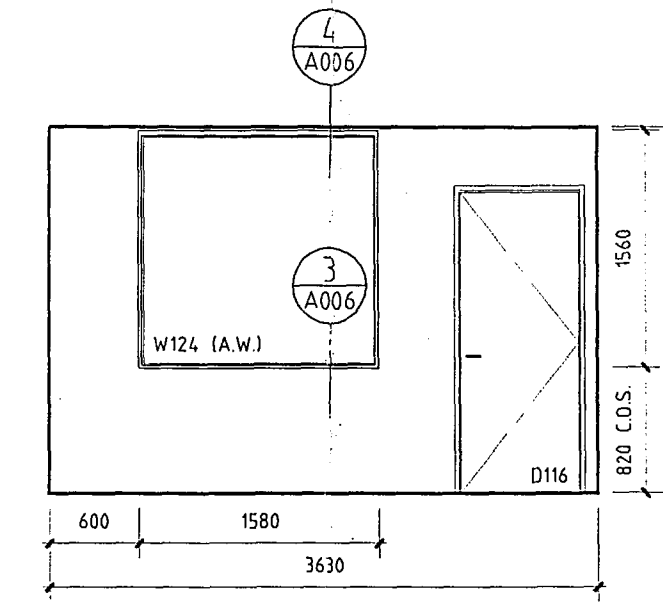
W121 WINDOW ELEVATION
SCALE 1:50



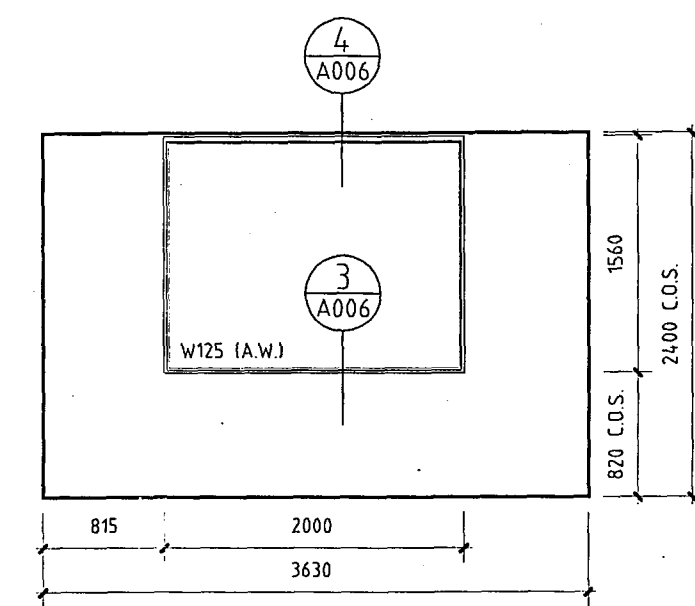
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SCALE 1:50



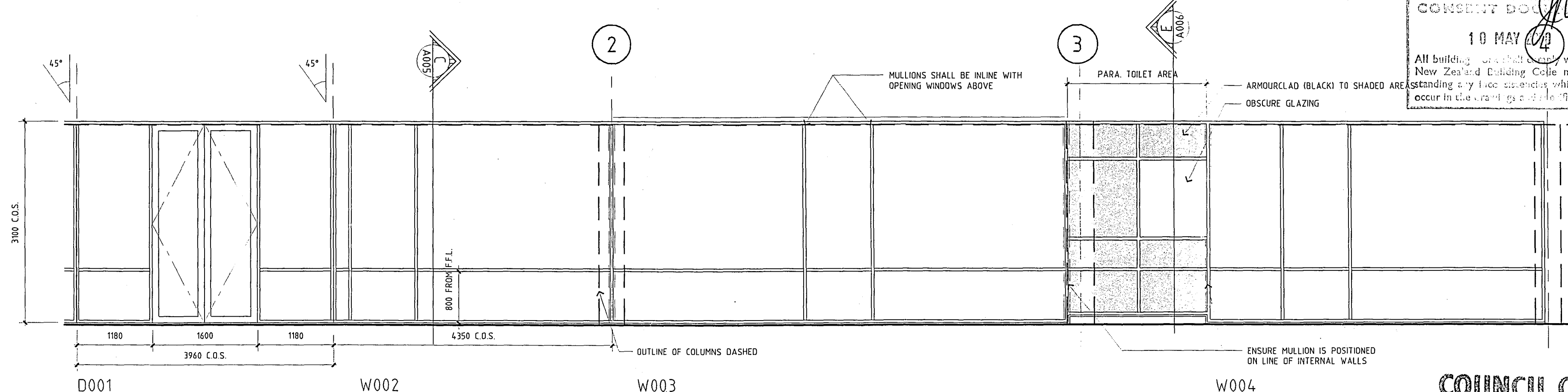
W123 WINDOW ELEVATION
SCALE 1:50



W124 WINDOW ELEVATION
SCALE 1:50



W125 WINDOW ELEVATION
SCALE 1:50



EXTERNAL WINDOW ELEVATIONS
SCALE 1:50

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
10 MAY 2000
All buildings or structures with the New Zealand Building Code notwith- standing & y face structures which may occur in the various possible locations.

BUILDING CONSENT REVISIONS		
No	DATE	REVISION
SHEET TITLE		
CH. T.V. FITOUT		
245-249 MADRAS STREET		
CHRISTCHURCH		
WINDOW WALL ELEVATIONS		
DESIGN	WTA	Date 5.5.00
DRAWN	JR	Date 5.5.00
CHECKED		Date
APPROVED		Date
FILE No.		PRINT DATE 5.5.00
DRAWN SCALE AS SHOWN	ORIGINAL SHEET SIZE A1	CAD FILE
		CAD PLOT SCALE 1:1

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RECEIVED
10 MAY 2000
BUILDING CONSENTS

THESE DRAWINGS ARE ONLY TO BE USED FOR THE PURPOSE AS STATED ABOVE, UNLESS NOTIFIED BY WARBURTON ARCHITECTS
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION DO NOT SCALE OFF DRAWINGS

ORIGINAL SIZE
0 10 20 30 40 50mm
11

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