

**E-MAILED**28.10.11

Canterbury Earthquakes Royal Commission
Te Komihana Rūwhenua a te Karauna

28 October 2011

Holmes Consulting Group
PO Box 25355
CHRISTCHURCH 8144

Attention: Richard Seville

By email: richards@holmesgroup.com

Dear Sir,

593 Colombo Street

The Royal Commission of Inquiry is currently inquiring into the failure of a number of buildings in the Christchurch CBD, including the building at 593 Colombo Street (the Building).

The Commission has received a copy of an email from you to Chris Chapman dated 11 February 2011 at 10.59am together with the attached sketch plans (copy enclosed for your information).

Could you please provide an outline of your involvement with the Building, by 7 November 2011, which includes the following matters:

1. Your full name, qualifications and years of experience.
2. How you became involved in the Building and the nature of the instructions you received in relation to the Building.
3. Details of any inspection/assessment you made of the Building, including copies of any report/drawing/photographs (other than the sketch plans referred to above).
4. Any further involvement you had with the Building after completion of the sketch plans.
5. A description of the work that was required to enable the Building to be re-occupied, in particular the work required in relation to the Colombo Street side of the Building.
6. Your view of the structural integrity of the Building as a whole at that stage.
7. Whether or not in your view any part of the Building should have been occupied at that stage, and why.
8. Whether or not you took any further action in relation to the Building.

15 Barry Hogan Place, Addington, Christchurch
PO Box 14053, Christchurch Mail Centre 8544

Freephone 0800 337 468

www.royalcommission.govt.nz

The above information is requested pursuant to the Royal Commission's powers of investigation under s 4C Commissions of Inquiry Act 1908.

Yours faithfully



Mark Zarifeh
Counsel Assisting
Canterbury Earthquakes Royal Commission



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www.dlapf.com

Our ref: 1000524

15 November 2011

Mark Zarifeh
Canterbury Earthquakes Royal Commission
PO Box 14053
Christchurch Mail Centre 8544
CHRISTCHURCH

Dear Mr Zarifeh

**Canterbury Earthquakes Royal Commission - Requirement for
Information dated 28 October 2011
Re: 593 Colombo Street**

My colleagues Grant Macdonald, John Hannan and myself are instructed to assist Holmes Consulting Group ('HCG') in the preparation of its evidence and responses to the Canterbury Earthquakes Royal Commission. We have taken our client's instructions upon the Requirement for Information as contained in your letter of 28 October 2011.

Having taken instructions from Mr Richard Seville of HCG, we respond, adopting the same numbering as contained in your letter of 28 October 2011, as follows:

Qualifications and experience

- 1** *Richard Seville of HCG is asked to confirm his full name, qualifications and years of experience.*

Mr Seville advises that his full name is Richard George Seville. He is a Consultant Engineer employed by HCG as Business Manager (Christchurch office) and Project Director. He holds a Bachelor of Engineering (Civil) with Honours, a Master of Science Degree and qualified as a Chartered Professional Engineer (CPEng) in 2011. He has over 16 years post-graduate experience in engineering.

Extent of Instructions received

- 2** *Mr Seville is asked how HCG became involved in the building at 593 Colombo Street and the nature of the instructions HCG received in relation to the building.*

DLA Phillips Fox is a member of DLA Piper Group, an alliance of independent legal practices.



Mr Seville advises that NAI Harcourts, as the building owner representatives and building managers, instructed HCG to carry out a post-earthquake RAPID Structural Assessment of 593 Colombo Street on or about 15 September 2010. A copy of the short form agreement is *enclosed*. The scope and nature of the services HCG was instructed to provide was to carry out an 'initial earthquake inspection' and 'securing measures as considered necessary'.

HCG later (October 2010) received further instructions to design temporary securing work, liaise with the contractor carrying out the work, and provide a concept design for strengthening the building. This is detailed further below.

Details of inspection/assessment

- 3 *Mr Seville is asked to provide details of any inspection/assessment made of 593 Colombo Street, and to provide copies of any report/drawing/photographs (other than the sketch plans referred to in the letter of 28 October 2011).*

Inspection: 24 September 2010

Mr Seville advises that Mr Alistair Boys of HCG attended on site at approximately 3pm on 24 September 2010. During Mr Boys' inspection of the building, he completed a site report and a RAPID Assessment Form - Level 2. His site report was subsequently typed up. A copy of his manuscript site report, typed up site report and the completed RAPID Assessment Form - Level 2 is *enclosed*.

Following HCG's initial inspection, NAI Harcourts requested HCG to undertake further investigation and design of temporary securing works.

Inspection: 4 October 2010

Mr Seville attended on site together with Paul Roberts, another structural engineer, on 4 October 2010. The purpose of the inspection was to observe the condition of the building structure and to identify what temporary securing work was necessary.

Mr Seville's observations and his suggested temporary strengthening schemes, were recorded in his site report dated 4 October 2010, a copy of which is *enclosed*. The site report incorporated photographs of the building and identified the areas requiring temporary strengthening works. It can be seen that Mr Seville recommended further observation of the roof using a man lift from outside the building. Mr Seville also suggested that removal of existing plaster would be required to determine the existing framing conditions and temporary strengthening connections details.

Mr Seville reported back to NAI Harcourts by email dated 6 October 2010, enclosing his site report of 4 October 2010 and a draft short form agreement for signature by the client. A copy of his email is *enclosed*.

In his email Mr Seville recommended that an inspection of the roof be carried out urgently to check the stability of the exterior walls and asked whether NAI Harcourts were able to organise to get a cherry picker on site.



Mr Seville believes a further inspection may have taken place shortly after his inspection on 4 October 2010, but he has no specific recollection or notes relating to such inspection.

Photographs taken during the inspection of the building are *enclosed*.

The short form agreement was signed by the client on 19 October 2010, a copy of which is *enclosed*. Under the agreement, HCG were instructed to provide a design for temporary securing; to liaise with the contractor to be engaged in carrying out the works; and to provide a concept design for strengthening the building (engineering sketches for pricing only).

Thereafter, Mr Seville believes HCG were requested to place the concept design works relating to the strengthening works on hold pending confirmation of funding.

A brief synopsis of the position reached and a proposed plan of action was sent to by email dated 24 November 2010 from NAI Harcourts to HCG, a copy of which is *enclosed*.

Inspection: 26 November 2010

An inspection was carried out by Paul Roberts of HCG on 26 November 2010 (including an inspection of the roof, having arranged for a cherry picker on site). Whilst on site, Paul Roberts observed additional damage to the interior brick walls at the ground floor level perpendicular to the South wall on St Asaph Street. Plaster was removed from the walls which revealed lateral displacement between the brickwork. Photographs of the damage were taken and forwarded on to NAI Harcourts by email on 29 November 2010. Copy photographs are *enclosed*.

In light of the damage observed, a further site inspection was arranged for Mr Seville to inspect the damage. NAI Harcourts were invited to attend the inspection to observe the damage. This inspection took place on 29 November 2010.

Inspection: 29 November 2010

Mr Seville and Paul Roberts attended on site on 29 November 2010 to review the damage as observed on 26 November 2010.

The temporary securing works recommended by HCG took into account the damage observed.

HCG was asked to incorporate the recommended temporary securing works as part of the final strengthening works.

Designs and concepts were sent to NAI Harcourts by email dated 11 February 2011, a copy of which is *enclosed*. NAI Harcourts were advised by HCG that the concepts were general concepts only for the client to gain an idea on budget prices.

The temporary securing work recommended included:

- The removal of two internal brick walls and replacing with a new block work wall (western end of the building);



- The replacement of some internal steel posts with new steel posts at ground floor level on the Colombo Street façade;
- Provision of new sections of ply ceiling diaphragm and ties into the external walls around three sides of the building - including Colombo Street; and
- Localised repair of two damaged sections of parapet, on St Asaph Street and Western elevations.

Following Mr Seville's inspections on 4 October 2010 and 29 November 2010, he was of the opinion that the St Asaph Street elevation (to the south) seemed to have suffered most damage. This side of the building should not, in his opinion, have been permanently occupied. In Mr Seville's opinion, the north eastern section of the building appeared to have sustained relatively minor damage. He believed it to be in a similar condition to the condition the building had been in prior to 4 September 2010 with no significant structural damage. HCG's last inspection of the building appears to have been on 29 November 2010. HCG was not requested to carry out a further inspection following the Boxing Day aftershock.

In Mr Seville's opinion, the damage to the southern elevation did not have a significant impact on the integrity of the north eastern section of the building.

Extent of Involvement post 11 February 2011

- 4 Mr Seville is asked if he had any further involvement with the building after the completion of the sketch plans. Mr Seville advises that HCG had no further involvement with the building following the issue of the sketches on 11 February 2011. HCG last inspection of the building appears to be that carried out on 29 November 2010.

Work required to the Building for re-occupation

- 5 Mr Seville is asked to describe the work that was required to the building to be re-occupied, in particular the work required in relation to the Colombo Street side of the building. Please see response to paragraph 3 above.

Structural Integrity

Mr Seville is asked for his view of the structural integrity of the building as a whole at that stage. Please see response to paragraph 3 above.

Suitability for occupation

- 6 Mr Seville is asked whether or not in his view any part of the building should have been occupied at that stage, and why. Please see response to paragraph 3 above.

Further action post 11 February 2011

- 7 Mr Seville is asked whether or not he took any further action in relation to the building. Please see response to paragraph 4 above.



We hope the above information is of assistance.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Marie Evans'.

Marie Evans
Enrolled Barrister and Solicitor
Direct +64 9 300 3836
marie.evans@dlapf.com
Encl



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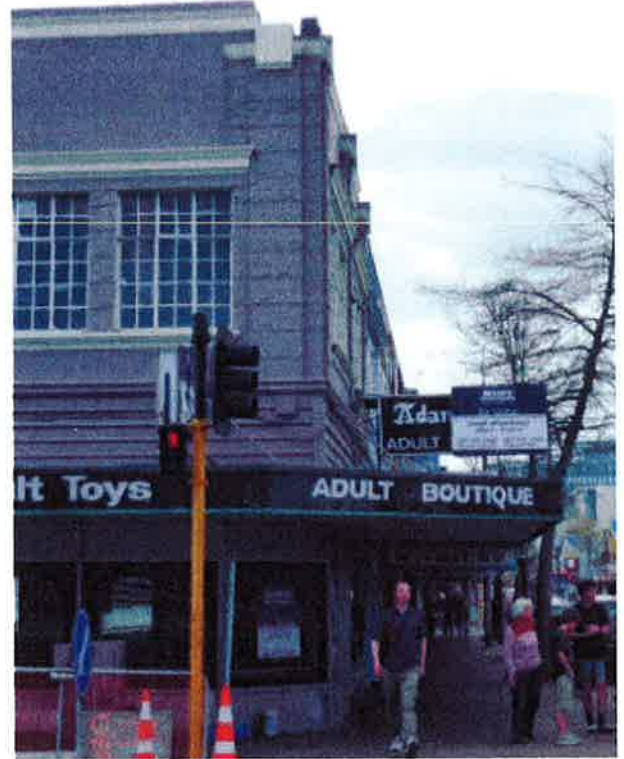
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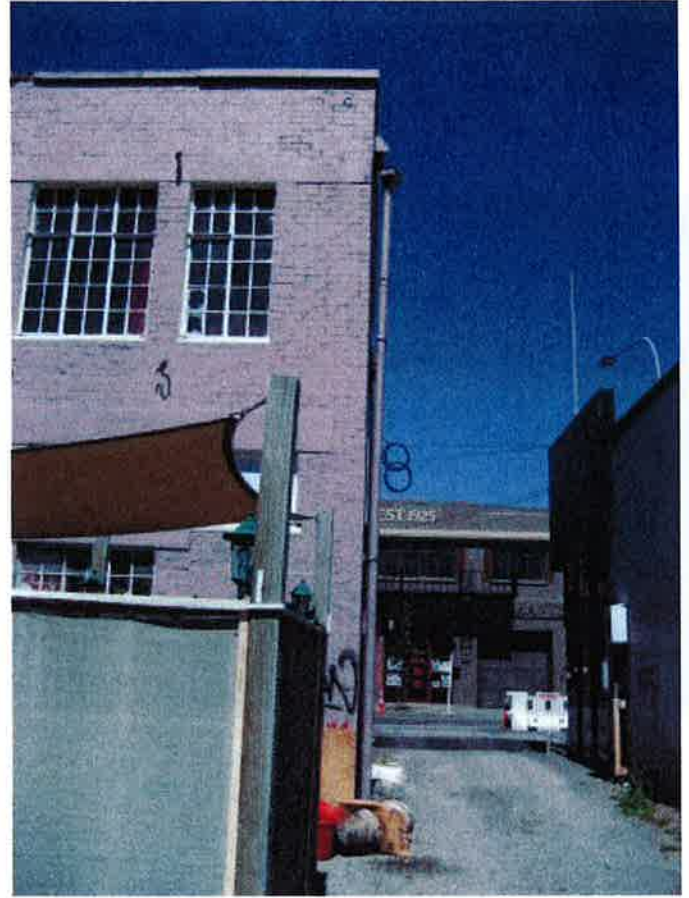
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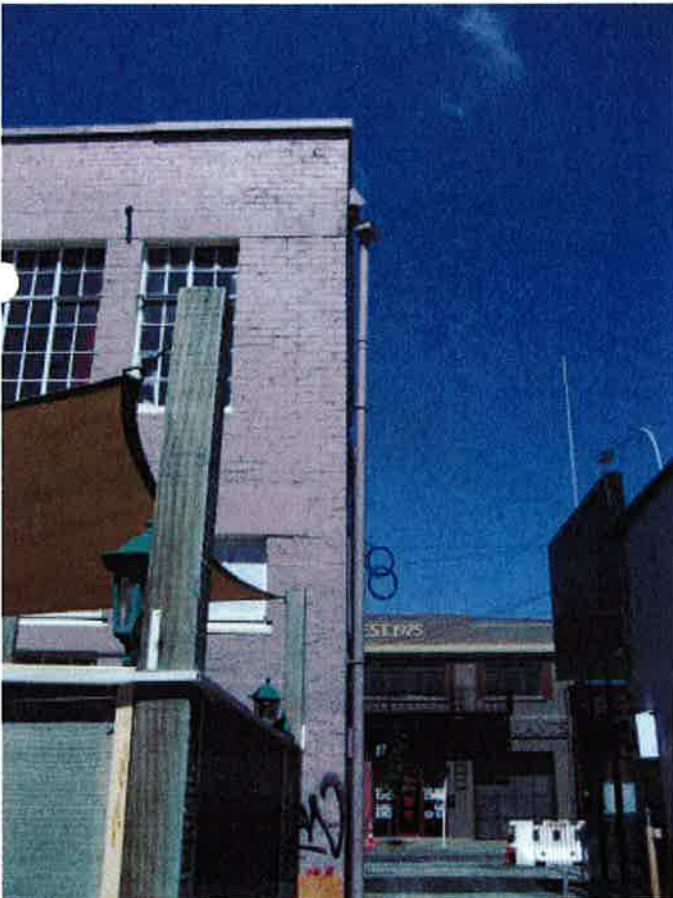
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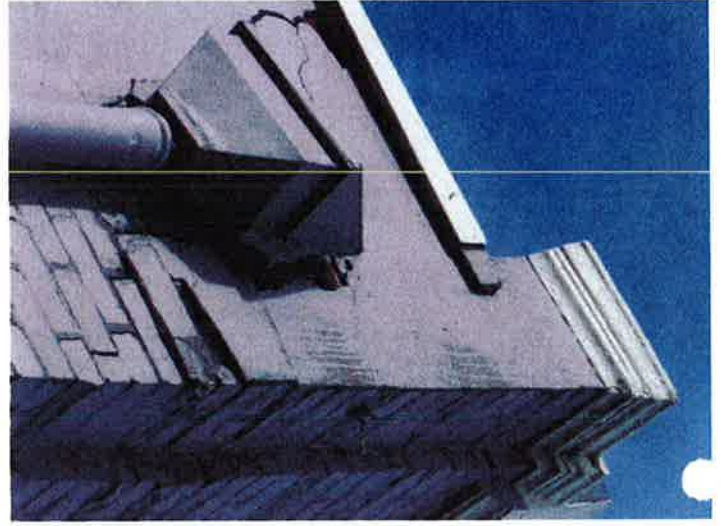
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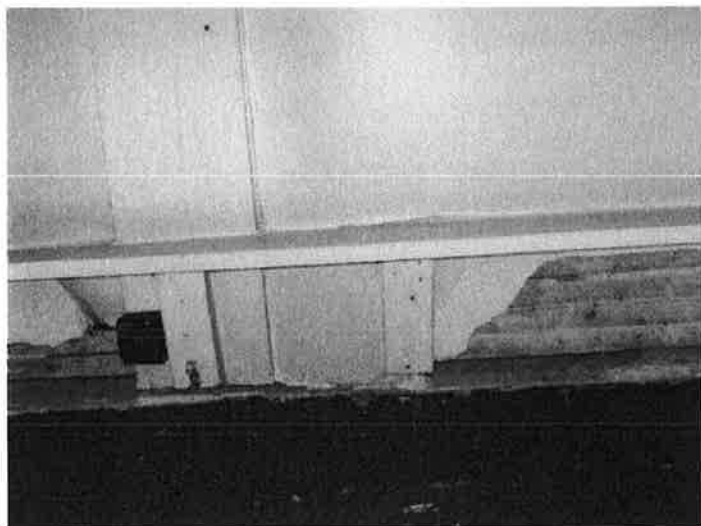
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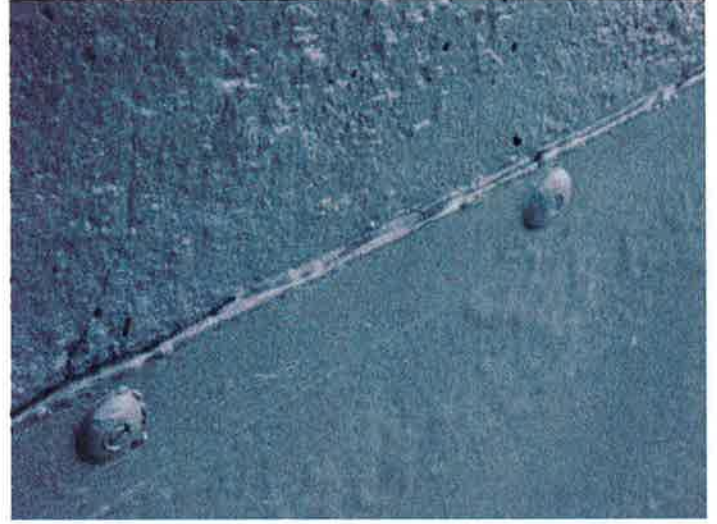
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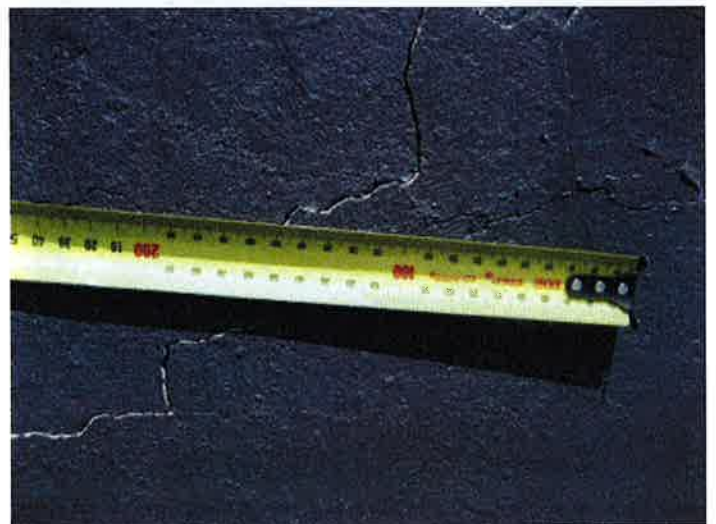
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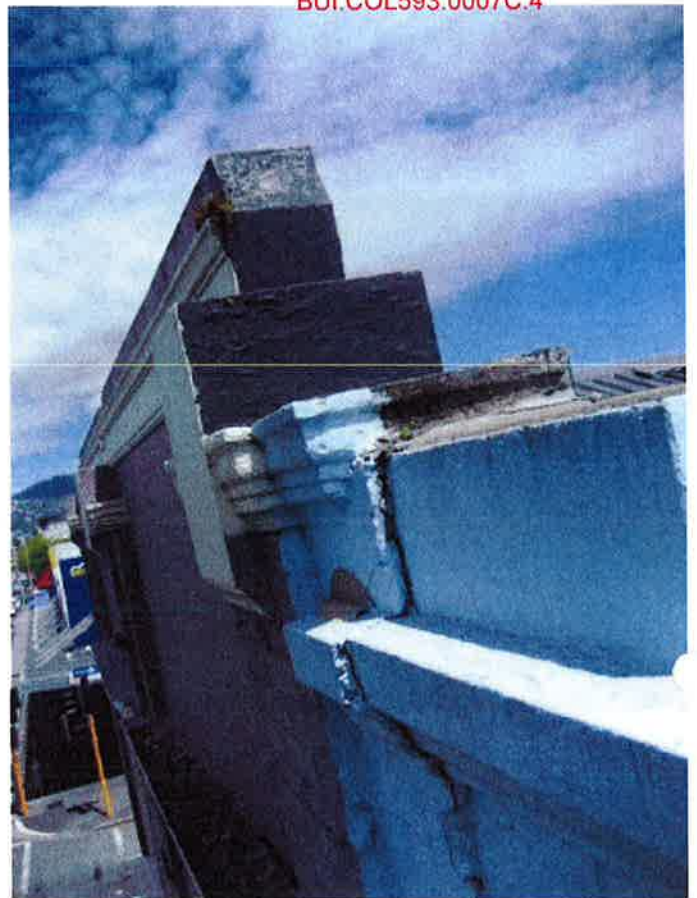


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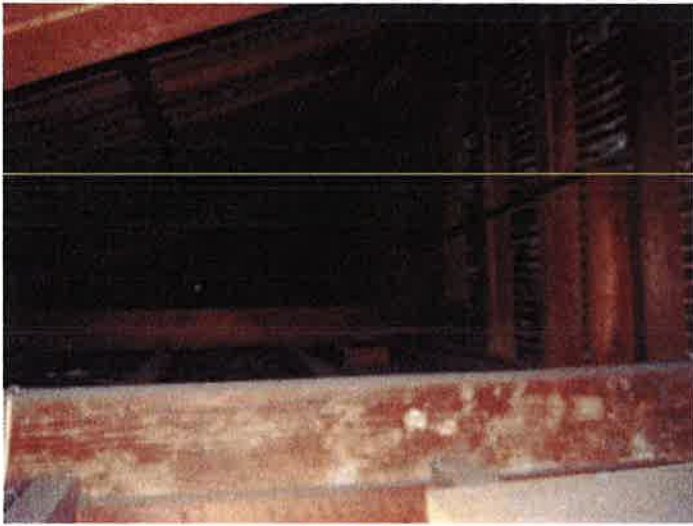
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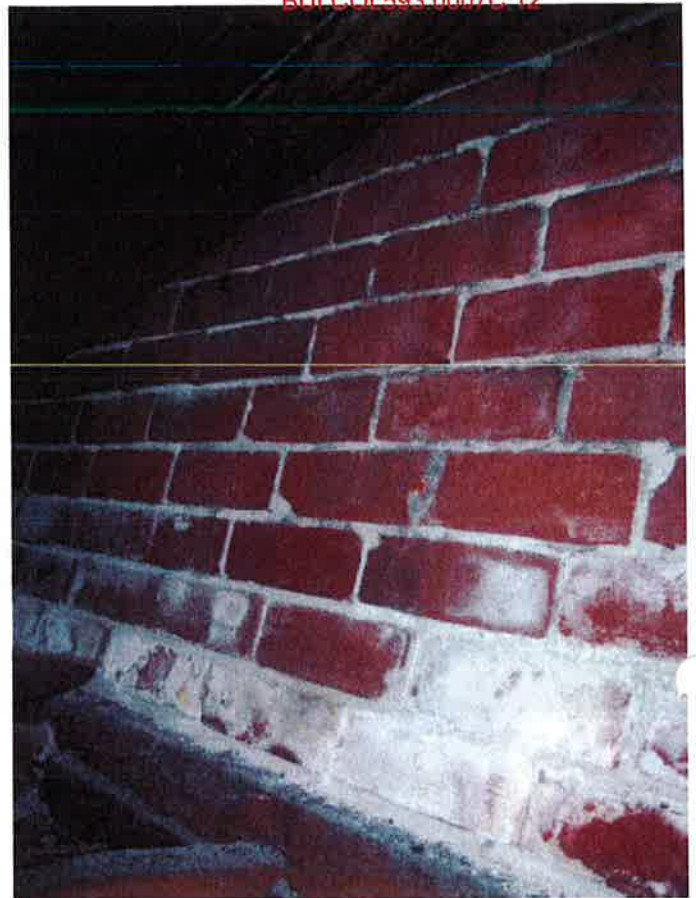
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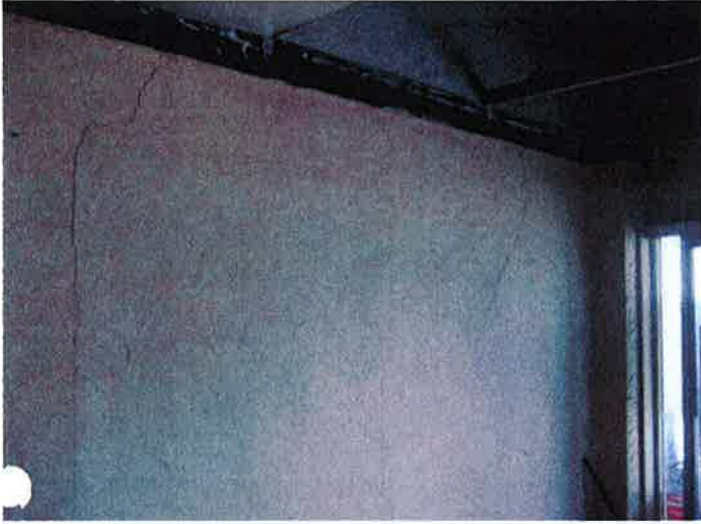
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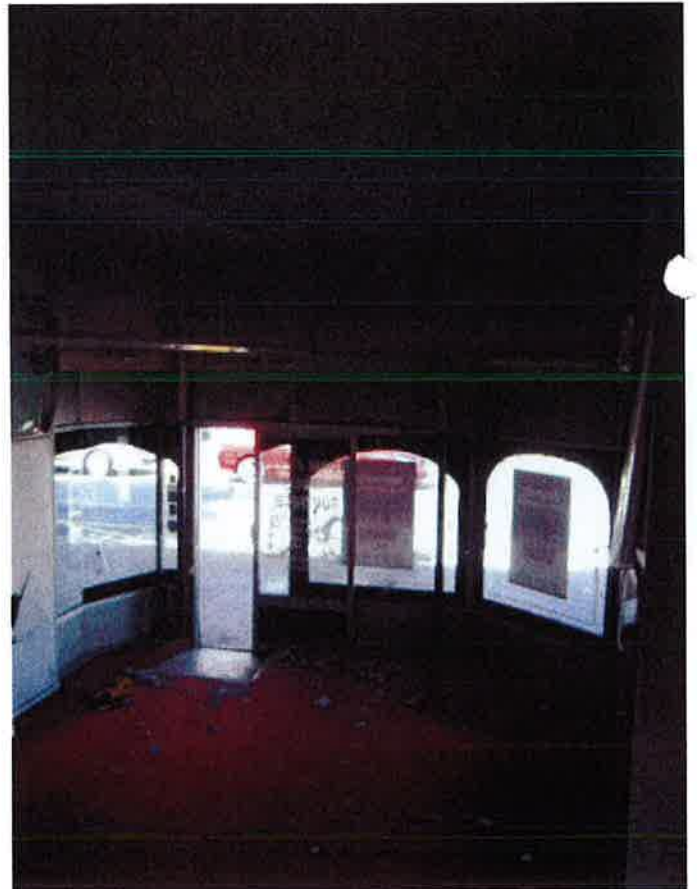
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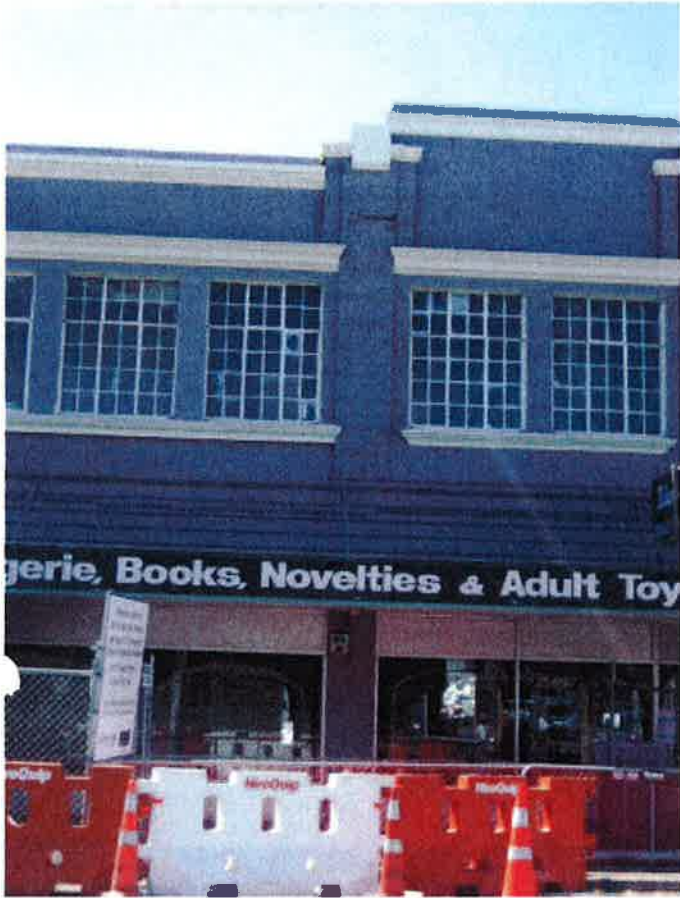
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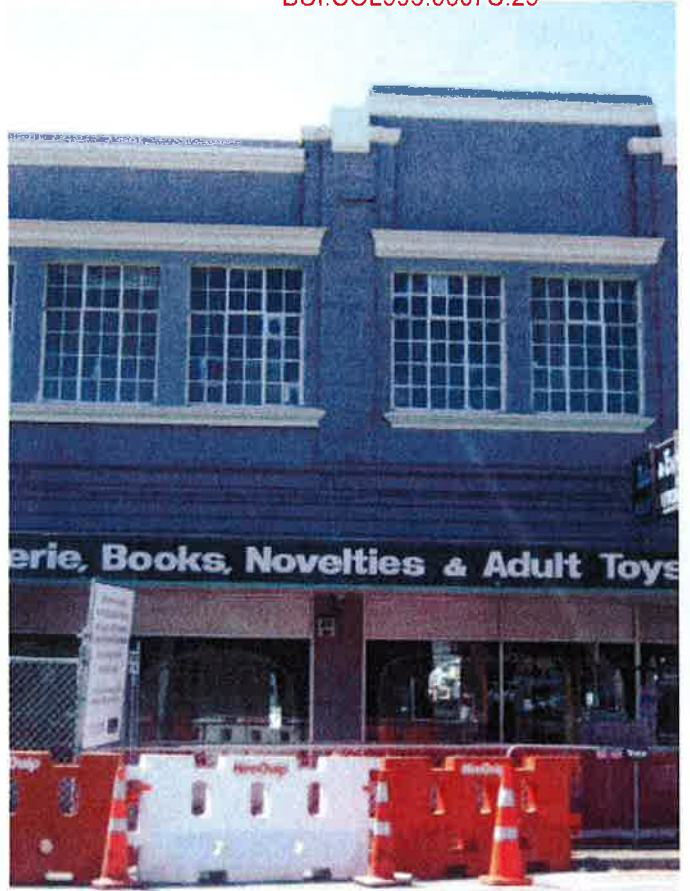
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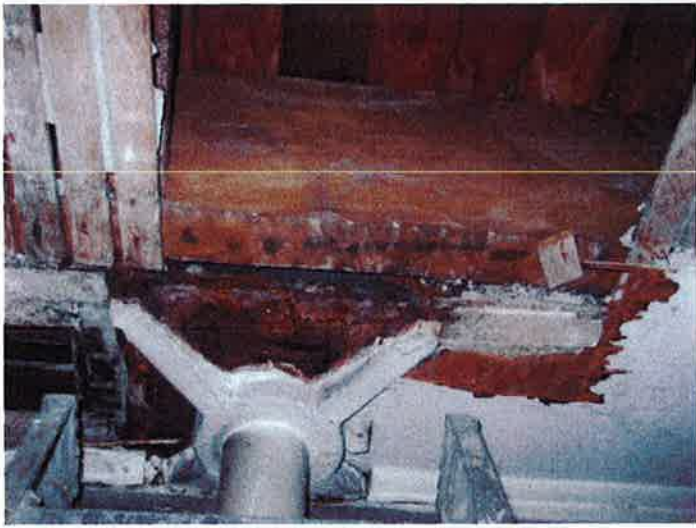
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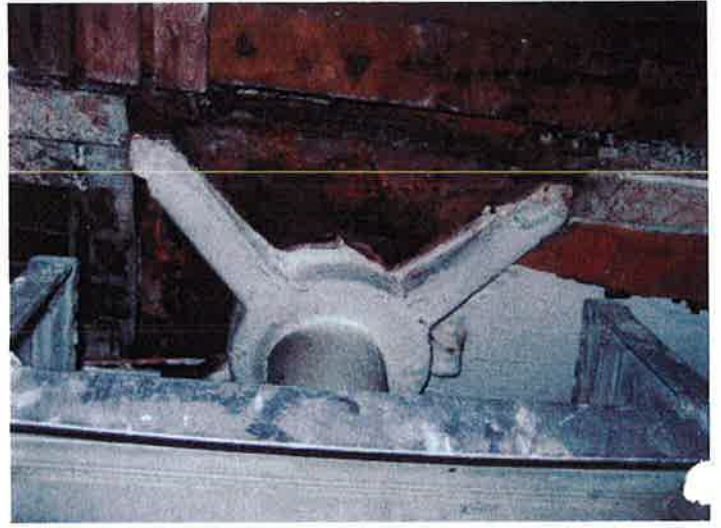
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SHORT FORM AGREEMENT FOR CONSULTANT ENGAGEMENT (COMMERCIAL)

BETWEEN: *Nat Harcourt*
(Client)

AND: **HOLMES CONSULTING GROUP LTD**
(Consultant)

PROJECT: *Various buildings in Portfolio*
(Description of Building Work)

LOCATION: *As list*
(Address)

- SCOPE AND NATURE OF SERVICES:
- Initial earthquake inspection ✓
 - Securing measures as considered necessary ✓
 -
 -

PROGRAMME FOR THE SERVICES:

FEES & TIMING OF PAYMENTS

All work will be conducted on a time basis.

All fees and rates are exclusive of GST.

INFORMATION OR SERVICES TO BE PROVIDED BY THE CLIENT

The Client engages the Consultant to provide the services described above and the Consultant agrees to perform the services for the remuneration provided above. Both Parties agree to be bound by the provision of the Short Form Model Conditions of Engagement (overleaf), including clauses 1, 8 and 9, and any variations noted below. Once signed, this agreement, together with the conditions overleaf and any attachments, will replace all or any oral agreement previously reached between the Parties.

VARIATIONS TO THE SHORT FORM MODEL CONDITIONS OF ENGAGEMENT (OVERLEAF)

CLIENT AUTHORISED SIGNATORY (IES):

[Signature]
(Print Name) *Howard Buchanan*
(Date) *5/9/10*

CONSULTANTS AUTHORISED SIGNATORY (IES):

[Signature]
(Print Name) *Richard Seville*
(Date) *5/9/10*



SHORT FORM CONDITIONS OF ENGAGEMENT (COMMERCIAL)

1. The Consultant shall perform the Services as described in the attached documents. The Client and the Consultant agree and the Services are acquired for the purposes of a business and that the provisions of the Consumer Guarantees Act 1993 are excluded in relation to the Services.
2. In providing the Services the Consultant shall exercise the degree of skill, care and diligence normally expected of a competent professional.
3. The Client shall provide to the Consultant, free of cost, as soon as practicable following any request for information, all information in his or her power to obtain which may relate to the services. The Consultant shall not, without the Client's prior consent, use information provided by the Client for purposes unrelated to the Services. In providing the information to the Consultant, the Client shall ensure compliance with the Copyright Act 1994 and its amendments and shall identify any proprietary rights that any other person may have in any information provided.
4. The Client may order variations to the Services in writing or may request the Consultant to submit proposals for variations to the Services.
5. The Client shall pay the Consultant for the Services the amount of fees and expenses at the times and in the manner set out in the attached documents. Where this Agreement has been entered by an Agent (or person purporting to act as Agent) on behalf of the Client, the Agent and Client shall be jointly and severally liable for payment of all fees and expenses due to the Consultant under this Agreement.
6. All amounts payable by the Client shall be paid within twenty (20) working days of the relevant invoice being mailed to the Client. Late payment shall constitute a default, and the client shall pay default interest on overdue amounts from the date payment falls due to the date of payment at the rate of the Consultant's overdraft rate plus 2% and in addition the costs of any actions taken by the Consultant to recover the debt.
7. Where services are carried out on a time charge basis, the consultant may purchase such incidental goods and/or Services as are reasonably required for the consultant to perform the Services. The cost of obtaining such incidental goods and/or Services shall be payable by the Client. The Consultant shall maintain records which clearly identify time and expenses incurred.
8. The liability of the Consultant to the Client in respect of his or her Services for the project, whether in contract, tort or otherwise, shall be limited to the lesser of five times the value of the fees (exclusive GST and disbursements), or the sum of NZ\$250,000. The consultant shall only be liable to the Client for direct loss or damage suffered by the Client as the result of a breach by the Consultants of his or her obligations under this Agreement and shall not be liable for any loss of profits.
9. The Consultant acknowledges that the Consultant currently holds a policy of Professional Indemnity insurance for the lesser of NZ\$250,000 or five times the value of the fees (exclusive GST and disbursements). The Consultant undertakes to use all reasonable endeavours to maintain a similar policy of insurance for six years after the completion of the Services.
10. Neither the Client nor the Consultant shall be considered liable for any loss or damage resulting from any occurrence unless a claim is formally made on him or her within six years from completion of the Services.
11. If either Party is found liable to the other (whether in contract, tort or otherwise), and the claiming Party and/or a Third Party has contributed to the loss or damage, the liable Party shall only be liable to the proportional extent of its own contribution.
12. The Consultant shall retain intellectual property/copyright in all drawings, specifications and other documents prepared by the Consultant. The Client shall be entitled to use them or copy them only for the works and the purpose for which they are intended. The ownership of data and factual information collected by the Consultant and paid for by the Client shall, after payment by the Client, lie with the Client. The Client may reproduce drawings, specifications and other documents in which the consultant has copyright, as reasonably required in connection with the project but not otherwise. The client shall have no right to use any of these documents where any or all of the fees and expenses remain payable to the Consultant.
13. The consultant has not and will not assume any obligation as the Client's Agent or otherwise which may be imposed upon the Client from time to time pursuant to the Health and Safety in Employment Act 1992 (the "Act") arising out of this engagement. The Consultant and the Client agree that, in terms of the Act, the Consultant will not be the person who controls the place of work.
14. The Client may suspend all or part of the Services by notice to the Consultant who shall immediately make arrangements to stop the Services and minimise further expenditure. The Client and the Consultant may (in the event the other Party is in material default) terminate the Agreement by notice to the other Party. Suspension or termination shall not prejudice or affect the accrued rights or claims and liabilities of the Parties.
15. The Parties shall attempt in good faith to settle any dispute by mediation.
16. This Agreement is governed by the New Zealand law, the New Zealand courts have jurisdiction in respect of the Agreement, and all amounts are payable in New Zealand dollars.



Project Name: 575 Columbus St
Project No: 105380.71
S.R. No:
Date: 24/9/10
Reviewed By: ALB

SITE REPORT

Work Reviewed:

POST EQ INSPECTION

Observations & Comments:

* 2 storey URM - Flats above
- retail below

* ^{the in} WEST WALL - DAMAGE @ MANHOLE LOCATIONS @ TOP (I.P. POINT, ICF W/ R
PARAPET COURSE?)
(North)
* REAR WALL - NO SIGNIFICANT DAMAGE - PARAPET OK * APPEARANCE STABLE

* St Asaph facade Appears undamaged, Also Columbus facade

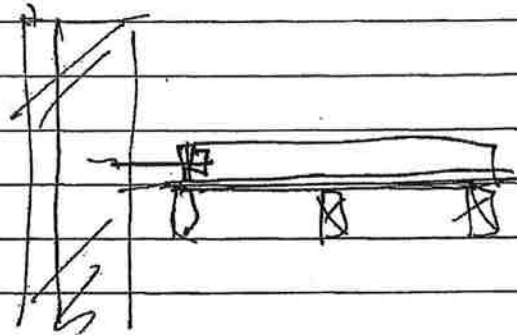
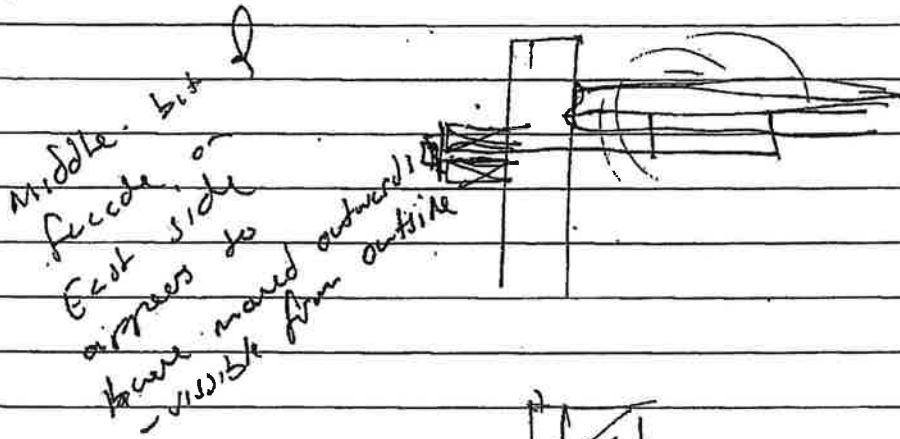
* minor cosmetic cracking to internal partitions (adant + Eve)
no water or masonry salt ~ 0.2m

* UPSTAIRS ROOMS: EVIDENCE THAT THE ST ASAPH FACADE SOUL
MAY HAVE MOVED OUT BY 10mm
HARD TO DETERMINE IF PRE-EXISTING

⇒ CHERRY PICKER & INSPECT FROM ROOF
OR REMOVE LATH & PLASTER TO INSPECT
TIES BETWEEN ROOF & WALL
(& POTENTIALLY L2 FLOOR TIES)

South & East facade appear to have
moved away. Over 1st floor a roof
displacement $\approx 10-20m$ in some places,

visible from 1st floor inside



→ Western end wall - top appears to have
moved out

~~Displacement from roof~~



Project Name 593 Colombo St
 Project No: 105380.71
 S.R. No: 001
 Date: 24 September 2010
 Reviewed By: Alistair Boys

SITE REPORT

Work Reviewed:

- Post Earthquake L2 Assessment

Observations & Comments:

- 2 Storey URM Retail Building, currently YELLOW Tag.
- Damaged masonry at the downpipe locations on the upper west wall.
 - Repairs required to ensure no falling hazard
- Externally no apparent damage evident to the facades on Colombo or St Asaph Streets.
- Internal inspection showed evidence that the St Asaph street facade may have moved out by 10mm at the centre of the wall. There is some evidence that this may have been pre-existing due to newspaper stuffed into the cracks between the external URM wall and the internal partitions (the upper residential tenancies look to have been unfit for tenants for some time).
 - Further structural investigation is required to ensure adequate connections between the level 2 floor and the URM walls, also the roof connection to the URM wall requires investigation.
- Not Safe to occupy (YELLOW Tag remains in place).

Report Prepared By:

Alistair Boys
 STRUCTURAL ENGINEER

105380.71SR2409.001.doc

Copies to:

Queenstown

Telephone

+64 3 441 3055

Facsimile

+64 3 441 3011

holmesgroup.com

Level 2

41 Ballarat Street

PO Box 1266

Queenstown

New Zealand

Offices in

Auckland

Hamilton

Wellington

Christchurch

San Francisco

Structural Hazards/ Damage	Minor/None	Moderate	Severe	Comments
Foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roofs, floors (vertical load)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Columns, pilasters, corbels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Diaphragms, horizontal bracing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Pre-cast connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Beam	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Non-structural Hazards / Damage				
Parapets, ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	minor cracking to West end of St Asaph St parapet.
Cladding, glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ceilings, light fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Interior walls, partitions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Stairs/ Exits	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities (eg. gas, electricity, water)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Geotechnical Hazards / Damage				
Slope failure, debris	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ground movement, fissures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Soil bulging, liquefaction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
General Comment				

Usability Category

Damage Intensity	Posting	Usability Category	Remarks
Light damage	Inspected (Green)	G1. Occupiable, no immediate further investigation required	
Low risk		G2. Occupiable, repairs required	
Medium damage	Restricted Use (Yellow)	Y1. Short term entry	
Medium risk		Y2. No entry to parts until repaired or demolished	
Heavy damage	Unsafe (Red)	R1. Significant damage: repairs, strengthening possible	
High risk		R2. Severe damage: demolition likely	
		R3. At risk from adjacent premises or from ground failure	



Project Name 593 Colombo Street
 Project No: 105380.71
 S.R. No: 1
 Date: 4 October 2010
 Reviewed By: Paul Roberts

SITE REPORT

Work Reviewed:

On Monday 4 of October 2010, Richard Seville and Paul Roberts of Holmes Consulting Group (HCG) made a site visit to 593 Colombo Street. The purpose of the visit was to observe the condition of the structure after the September 4 and subsequent earthquakes. The following observations and temporary strengthening schemes are suggested.

Observations & Comments:

1. On the east wall, HCG observed a 10-20mm gap between the timber framed floor and brick façade. This displacement was also observed from outside. See Figure 1 for a suggested temporary strengthening scheme.
2. At the south wall, a 10-20mm gap was observed between the timber framed floor and brick façade. See Figure 2 for a suggested temporary strengthening scheme.
3. At the West wall, above the 1st floor ceiling, the brick wall appears to be leaning outwards. See Figure 3 for a suggested temporary strengthening scheme. The top of this wall may require removal depending on further investigation.
4. At the North side, no gaps between the floors and brick walls was observed. The façade appears to be in good condition.

HCG suggests further observation of the roof using a man lift from outside the building. Removal of existing plaster will be required to determine existing framing conditions and temporary strengthening connections details.

Christchurch

Telephone

64 3 366 3366

Facsimile

64 3 379 2169

Internet

www.holmesgroup.com

Level 5

123 Victoria Street

PO Box 25355

Christchurch 8144

New Zealand

Offices in

Auckland

Hamilton

Wellington

Queenstown

San Francisco

Copies to:

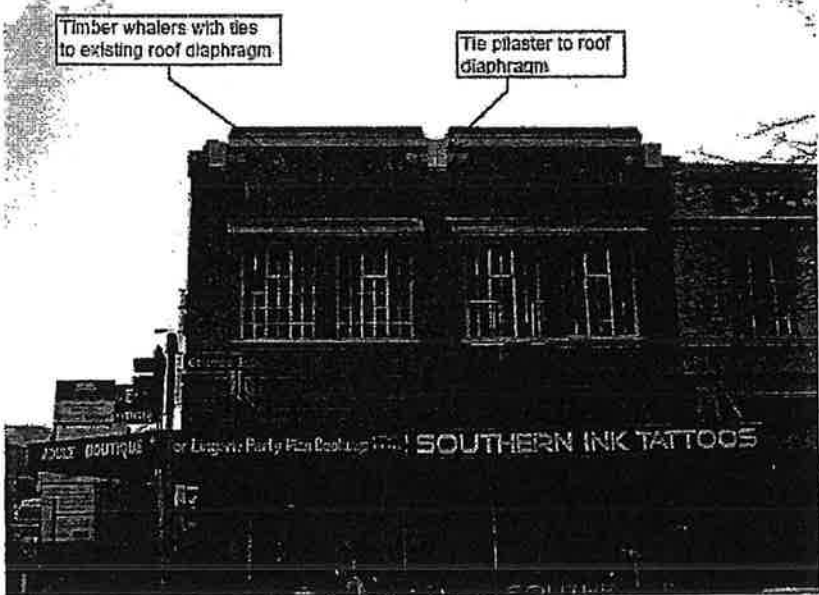


Figure 1



Figure 2

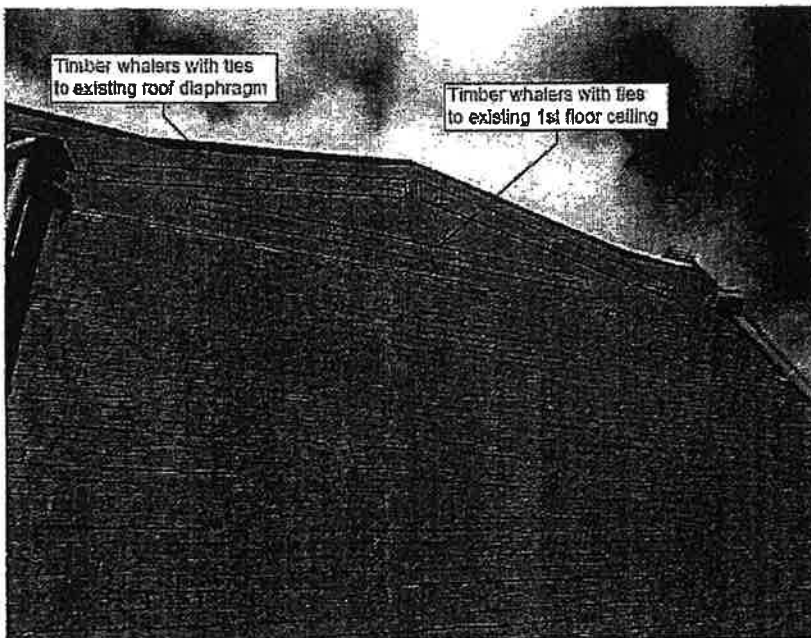
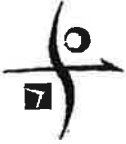


Figure 3

Report Prepared By:

Paul Roberts
PROJECT ENGINEER

105380.71SR0510.001.doc

BETWEEN:

(Client)

AND:

HOLMES CONSULTING GROUP LTD

(Consultant)

PROJECT:

2 STOREY BRICKWORK RETAIL & APARTMENT BUILDING

(Description of Building Work)

LOCATION:

593 COLOMBO STREET

(Address)

SCOPE AND NATURE OF SERVICES:

- Temporary shoring design
- Liaise with contractor carrying out work
- Concept design for strengthening (Engineering sketches for pricing only)

PROGRAMME FOR THE SERVICES:

FEES & TIMING OF PAYMENTS

All work will be conducted on a time basis at the following rates:

Project Director \$195 per hour

Senior Design Engineer \$175 per hour

Project Engineer \$150 per hour

All fees and rates are exclusive of GST.

Estimate fee range \$7,000-\$11,000. We will contact you if upon further investigation of the building it looks like this will be exceeded.

INFORMATION OR SERVICES TO BE PROVIDED BY THE CLIENT

The Client engages the Consultant to provide the services described above and the Consultant agrees to perform the services for the remuneration provided above. Both Parties agree to be bound by the provision of the Short Form Model Conditions of Engagement (overleaf), including clauses 1, 8 and 9, and any variations noted below. Once signed, this agreement, together with the conditions overleaf and any attachments, will replace all or any oral agreement previously reached between the Parties.

VARIATIONS TO THE SHORT FORM MODEL CONDITIONS OF ENGAGEMENT (OVERLEAF)

CLIENT AUTHORISED SIGNATORY (IES):

(Print Name) **Yi-Hua CHANG**

(Date) **19/10/10**

CONSULTANTS AUTHORISED SIGNATORY (IES):

Richard Seville

5 October 2010

Heather Devlin

From: Richard Seville
Sent: Wednesday, 8 October 2010 9:54 a.m.
To: chris.chapman@naiharcourts.co.nz
Cc: Paul Roberts
Subject: 593 Colombo St

Attachments: 105380.71 SR1 4Oct10.pdf; 105380.71 SFA 5Oct10.pdf
File Status: Filed
Job Number: 105380.71

Hi Chris,
 Paul and I had a look at this on Monday. The external walls appear to be moving out from the building on three elevations. We need to get on to the roof to check the stability of these walls - this needs to be done urgently. Are you able to organise Spottless of Contract to get a cherry picker on site?

I've attached a site report and a shortform agreement which we will need signed by the client before we continue. We have shown some indicative photo mark-ups of where we think temporary ties are required.

In terms of final strengthening we completed a design (pre EQ) for a similar 2 storey brick building. The construction cost came in at approx \$1300/m2 however, this included some architectural work, new plumbing cutting some new openings in walls etc. For strengthening only the figure might be closer to somewhere between \$800 - \$1000/m2.

Regards,

Richard Seville
 PROJECT DIRECTOR

Holmes Consulting Group
 PO Box 25355 | Christchurch 8144 | New Zealand
 Phone: +643 366 3366 | DDI: +643 363 2174 | Fax: +643 379 2169



105380.71 SR1 105380.71 SFA
 4Oct10.pdf (694 ...5Oct10.pdf (1,00...

Email: RichardS@Holmesgroup.com

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From: Chris Chapman [mailto:chris.chapman@naiharcourts.co.nz]
Sent: Wednesday, November 24, 2010 1:30 PM
To: Thompson, Scott; Paul Roberts
Subject: 593 Colombo Street

Gentlemen

Thanks for your time this morning

From our discussions the following is a brief synopsis of where to from here / plan of action

Paul – engagement form previously sent to Richard attached

Stage 1

Spotless and Holmes Consulting to

- finalise design of temporary structural repairs (Spotless arranging scissor lift and builder to be on site Friday 26th so Paul can examine the roof etc)
- cost the repair works – *expected delivery of this info for sending to owners*
- undertake the repair works - *time frame to undertake once approved by owners*
- obtain City Council sign off

Stage 2

Spotless to provide

- Refurbishment discussion document and budget for the refurbishment of vacant ground floor tenancies - *expected delivery of this info for sending to owners*

Stage 3

Spotless / Holmes Consulting

- design specific strengthening requirements for 67% compliance
- budget cost for strengthening - *expected delivery of this info for sending to owners*
- budget cost for refurbishment of 1st floor – mainly demolition and make presentable
- budget cost for consent application - *expected delivery of this info for sending to owners*

Stage 4

- undertake strengthening - *time frame to undertake once approved by owners*
- undertake redevelopment of 1st floor - *time frame to undertake once approved by owners*

If you can provide me with some likely timeframe for completing the various aspects that I can give to the owners that would be appreciated (*I've made some comments where I believe timeframes will be asked of us by the owners*)

Any queries please contact me

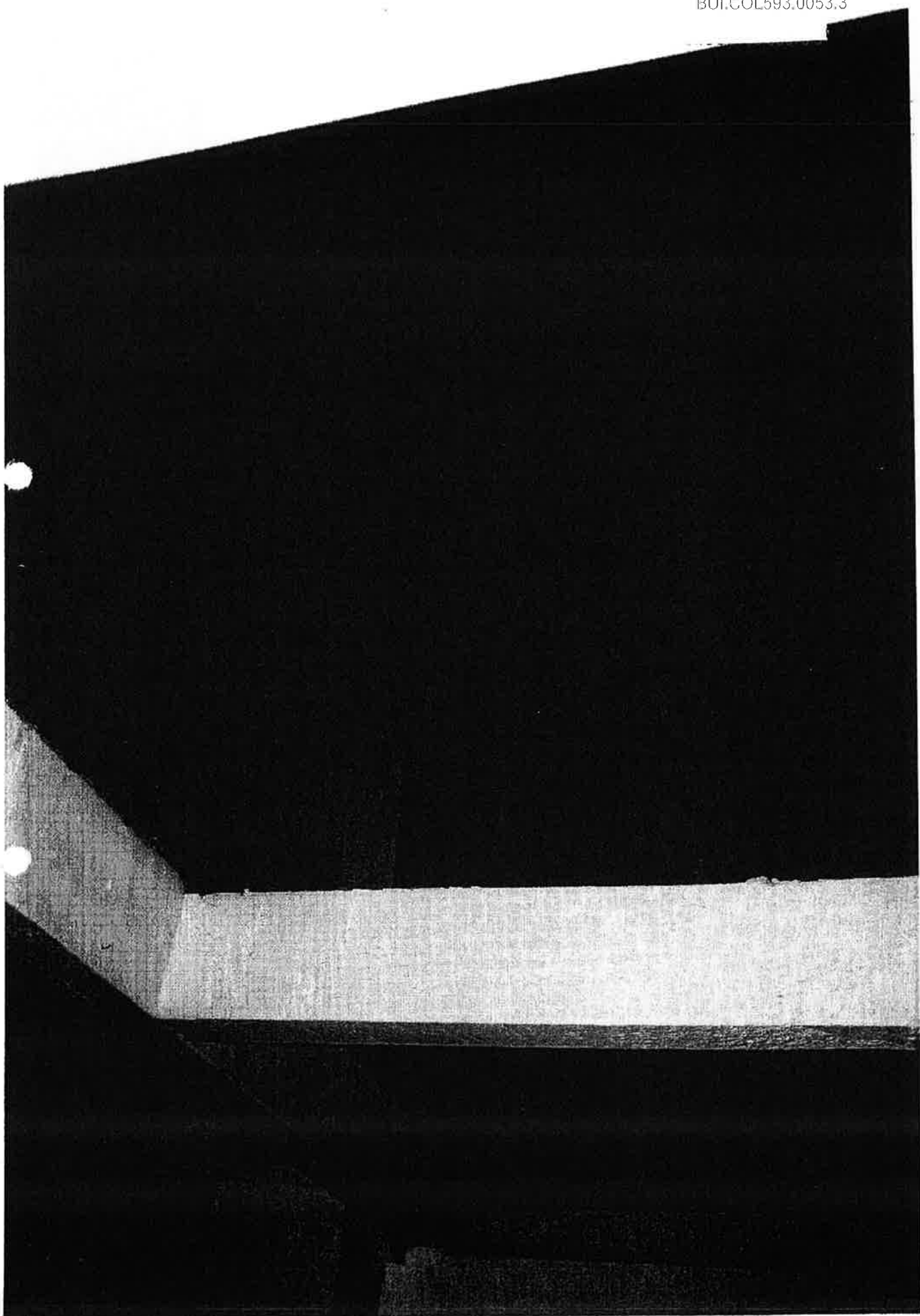
Regards

Chris

Chris Chapman
Commercial Property Manager

Granadier Real Estate Ltd, MREINZ, Licensed Agent REAA 2008
271 Madras Street, PO Box 1625, Christchurch 8140, New Zealand
P +64 3 371 9126 M +64 274 715 819 F +64 3 371 9189
E chris.chapman@naiharcourts.co.nz www.naiharcourts.co.nz







Richard Seville

From: Richard Seville
Sent: Friday, 11 February 2011 10:59 a.m.
To: 'Chris Chapman'
Subject: 593 Colombo
Attachments: 593 Colombo St SK1.pdf; 593 Colombo St SK2.pdf; 593 Colombo St SK3.pdf; 593 Colombo St SK4.pdf

File Status: Filed

Job Number: 105380.71

Hi Chris,

I've attached mark-ups showing the general concept for strengthening of this building. It has been split into what is required to be done now (for occupancy) and what is required to aim for 67%.

Please note that it is a general concept only to give an idea on budget prices.

Give me a call if you would like to run through it.

Regards,

Richard Seville
PROJECT DIRECTOR

Holmes Consulting Group
PO Box 25355 | Christchurch 8144
Phone: +643 366 3366
Email: richards@holmesgroup.com

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Richard Seville

From: Richard Seville
Sent: Friday, 11 February 2011 11:34 a.m.
To: 'Chris Chapman'
Subject: colombo sketches
Attachments: sk1 to sk4.pdf
File Status: Filed
Job Number: 105380.71

Hi Chris,
sorry about that - should all be there this time..

Regards,

Richard Seville
PROJECT DIRECTOR

Holmes Consulting Group
PO Box 25355 | Christchurch 8144
Phone: +643 366 3366
Email: richards@holmesgroup.com

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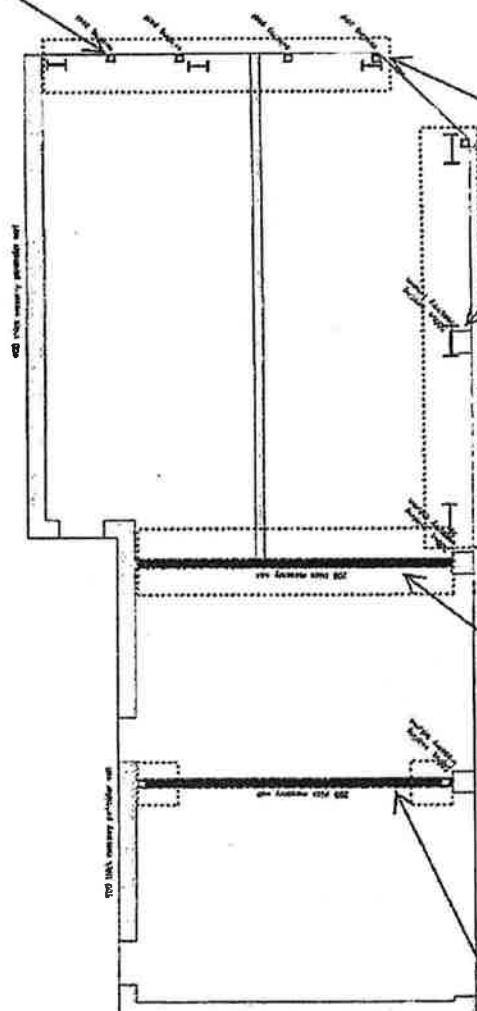
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8/11/2011

<p>Concept Design for EQ repairs and required strengthening</p> <p>1. Required repairs prior to resumption of occupancy. Damaged structure must be returned to its original strength. Damaged non-structural portions shall be removed or replaced.</p> <p>A) These items are marked in RED.</p> <p>B) Alternative options for these items are marked in GREEN.</p> <p>2. Required seismic upgrade to 87% or as nearly practicable to 87% by September 2013. These items are marked as BLUE on the plans.</p>	<p>2011 PAR Concept for Pricing</p>	<p>HolmesConsultingGroup</p>	<p>682 COLOMBO ST CHRISTCHURCH</p>	<p>ground floor plan</p>	<p>105380.71 SK1 1</p>
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1. Noticeable lateral displacements in slender steel columns. Replace existing columns with 150x150x6 SHS columns.



ground floor plan

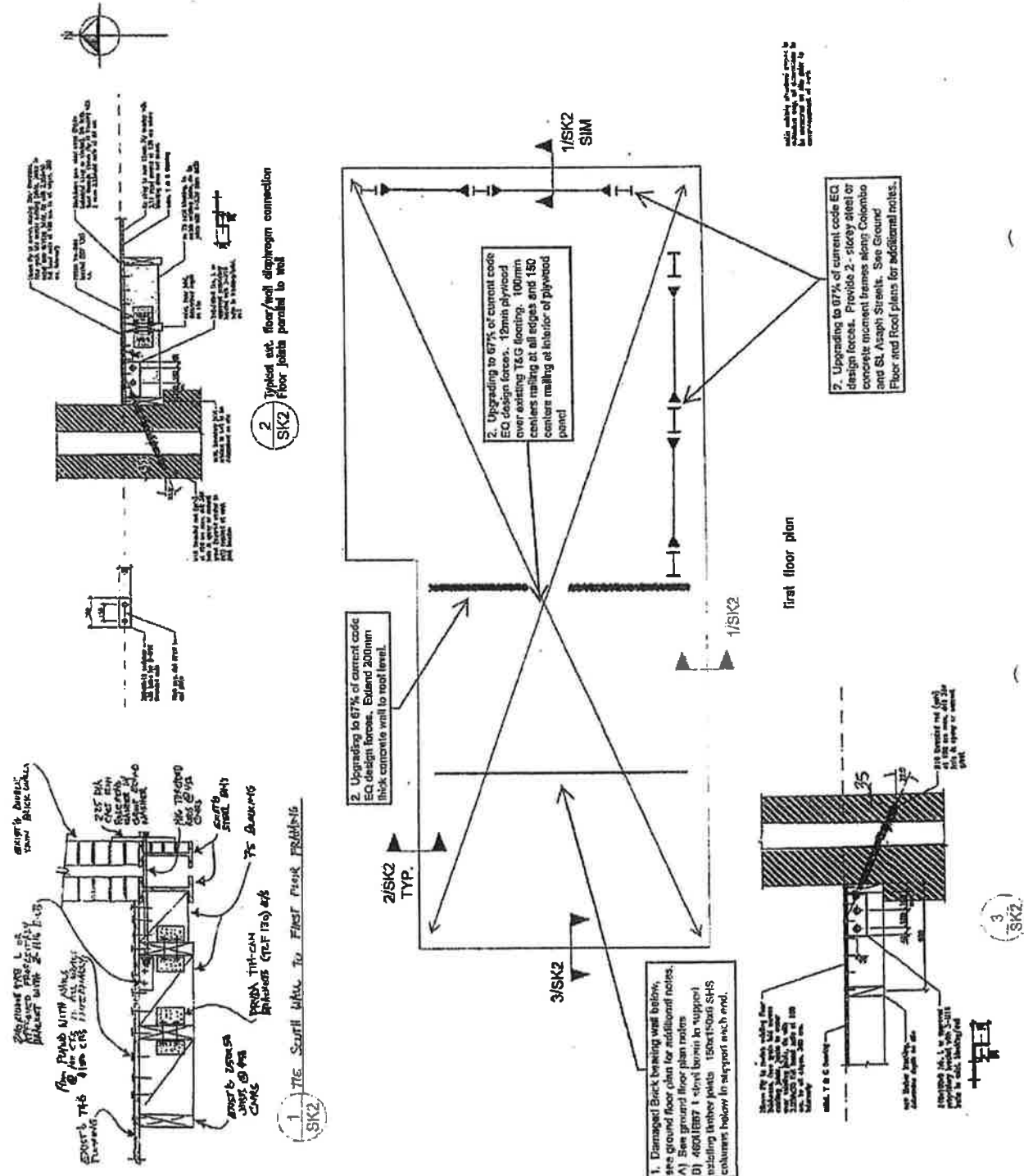
1. Damaged brick bearing & chase wall
 A) Repair/replace existing damaged brick wall or
 B) Remove existing damaged wall and place new beam at 1st floor to support 1st floor framing. Support walls of new wall 150x150x6 SHS columns and 400x400x1200 drop pad supports.

1. Damaged brick bearing & chase wall. Remove brick wall and replace with 200mm thick concrete wall with 2 - X012 bars at 400 c/c each way. 600x1200 concrete topping below this wall.

2. Upgrading to 87% of current code EQ design forces. Provide 2 - storey lateral or concrete moment frames with new reinforced concrete footings below along Colombo and St Asaph Streets.

100mm concrete topping below this wall

<p>Concept Design for E2 repairs and required strengthening</p> <ol style="list-style-type: none"> Required repairs prior to resumption of occupancy. Damaged structure must be restored to its original strength. Damaged non-structural positions shall be removed or replaced. Thesis items are marked in RED. Alternative options for those items are marked in GREEN. Required seismic upgrades to 67%, or as nearly practicable to 67%, by September 2013. These items are marked as BLUE on the plans. 	<p>2013/1 PAR Concept for Priority</p> <p>2013/1 PAR Concept for Priority</p> <p>2013/1 PAR Concept for Priority</p> <p>2013/1 PAR Concept for Priority</p> <p>2013/1 PAR Concept for Priority</p> <p>2013/1 PAR Concept for Priority</p> <p>2013/1 PAR Concept for Priority</p>	<p>583 COLOMBO ST CHRISTCHURCH</p> <p>1st floor plan</p> <p>105380.71 SK2</p>
---	--	---



Notes relating to this drawing should be referred to the plan of the drawing.

3 SK2

From: Evans, Marie [mailto:Marie.Evans@dlapf.com]
Sent: Wednesday, 16 November 2011 9:11 a.m.
To: Mark Zarifeh
Subject: RE: Canterbury Earthquakes Royal Commission - Requirement for Information dated 28 October 2011 Re: 593 Colombo Street [DLANZ-CLIENT.FID69517]

Hi Mark

I attach a copy of a schedule identifying areas of damage and illustrative photographs put together by Paul Roberts of Holmes Consulting Group and sent to Richard Seville for reference in or around mid to late December 2010, to enable Mr Seville to finalise the concept design for repairs and strengthening works to the building. This ought to have been attached to the enclosure to my letter of yesterday's date. Could you please add to the documents supplied.

Many thanks

Marie

Marie Evans
Enrolled Barrister & Solicitor

DLA Phillips Fox

T +64 9 300 3836
F +64 9 303 2311
E Marie.Evans@dlapf.com

<http://www.dlapf.com>

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Please consider the environment before printing this email.

From: Mark Zarifeh [mailto:Mark.Zarifeh@royalcommission.govt.nz]
Sent: Tuesday, 15 November 2011 5:18 p.m.
To: Evans, Marie
Subject: RE: Canterbury Earthquakes Royal Commission - Requirement for Information dated 28 October 2011 Re: 593 Colombo Street [DLANZ-CLIENT.FID69517]

Thanks Marie.

From: Evans, Marie [mailto:Marie.Evans@dlapf.com]
Sent: Tuesday, 15 November 2011 2:32 p.m.
To: Mark Zarifeh
Cc: Hannan, John
Subject: Canterbury Earthquakes Royal Commission - Requirement for Information dated 28 October 2011 Re: 593 Colombo Street [DLANZ-CLIENT.FID69517]

Dear Mark

I attach our client's response to your Requirement for Information dated 28 October 2011 relating to 593 Colombo Street. The letter refers to enclosed photographs. I intend to send these to you under cover of 2 separate emails (given their volume). If they bounce back, I will send to you in the postal system.

Please acknowledge receipt.

Many thanks

Regards

Marie Evans

Enrolled Barrister & Solicitor

DLA Phillips Fox

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E Marie.Evans@dlapf.com

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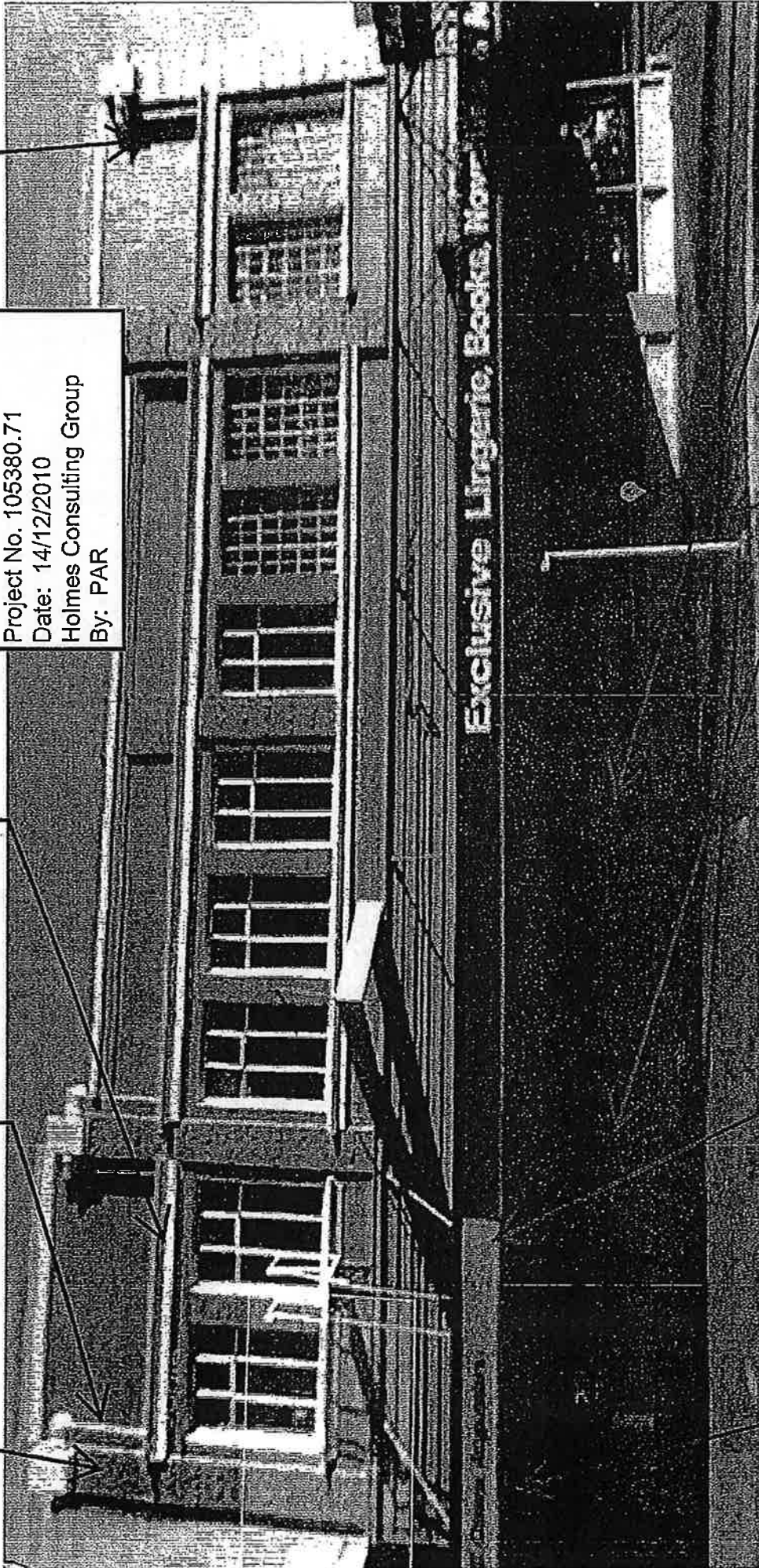
South side of west parapet is significantly damaged. See pictures #4 & 5

West wall has shifted outward from 1st floor ceiling by 30mm. See pictures #8 & 9

South wall has shifted outward from 1st floor ceiling by 25mm. See pictures #6 & 7

South Elevation with description of damage and picture locations
Project: 593 Colombo Street
Project No. 105380.71
Date: 14/12/2010
Holmes Consulting Group
By: PAR

cracks seen from inside face of east side of south parapet. See picture #1



West wall has shifted outward to the west from the 1st floor framing by 30mm. See picture #16

South wall has shifted outward by 25mm - 30mm from 1st floor.

Interior brick bearing wall beyond has significant horizontal gaps (up to 50mm wide) between adjacent bricks. Wall needs to be replaced. See pictures #10, 11 & 12

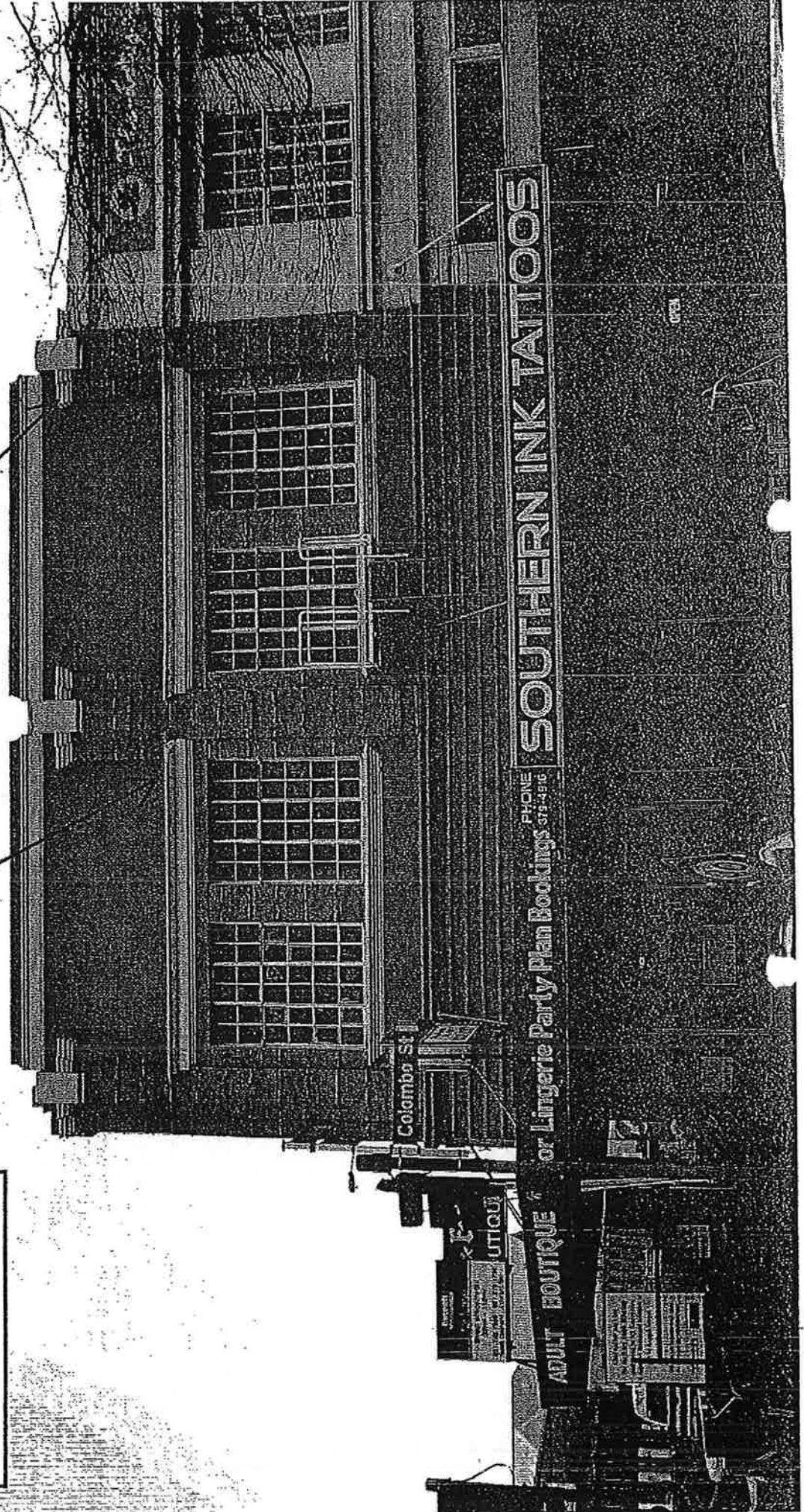
Interior brick bearing wall beyond has significant horizontal gaps between adjacent bricks. Wall needs to be replaced. See pictures #13, 14 & 15

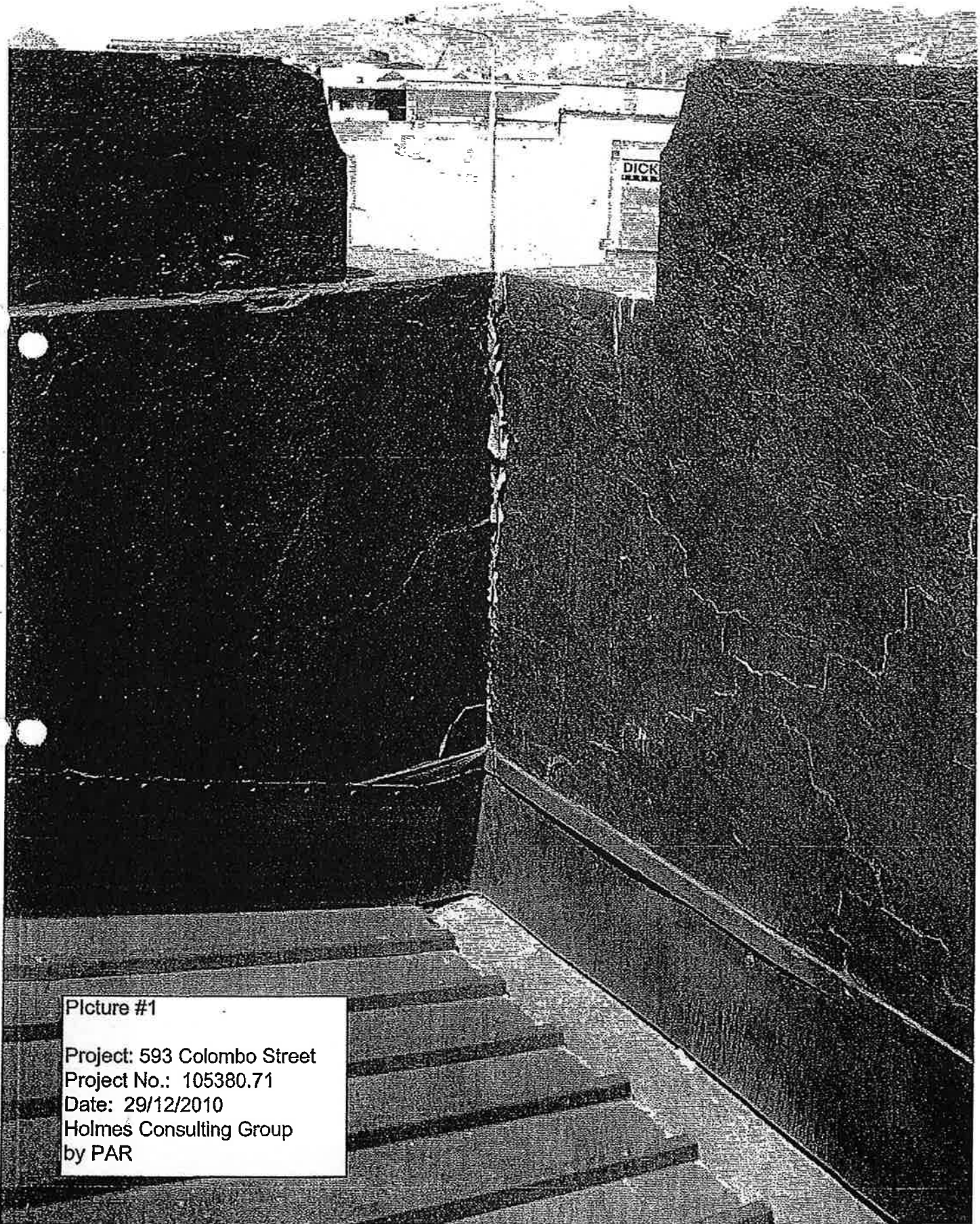
East Elevation with description of damage and picture locations

Project: 593 Colombo Street
 Project No. 105380.71
 Date: 14/12/2010
 Holmes Consulting Group
 By: PAR

Parapet deflecting outward from corner. See pictures #2 & 3

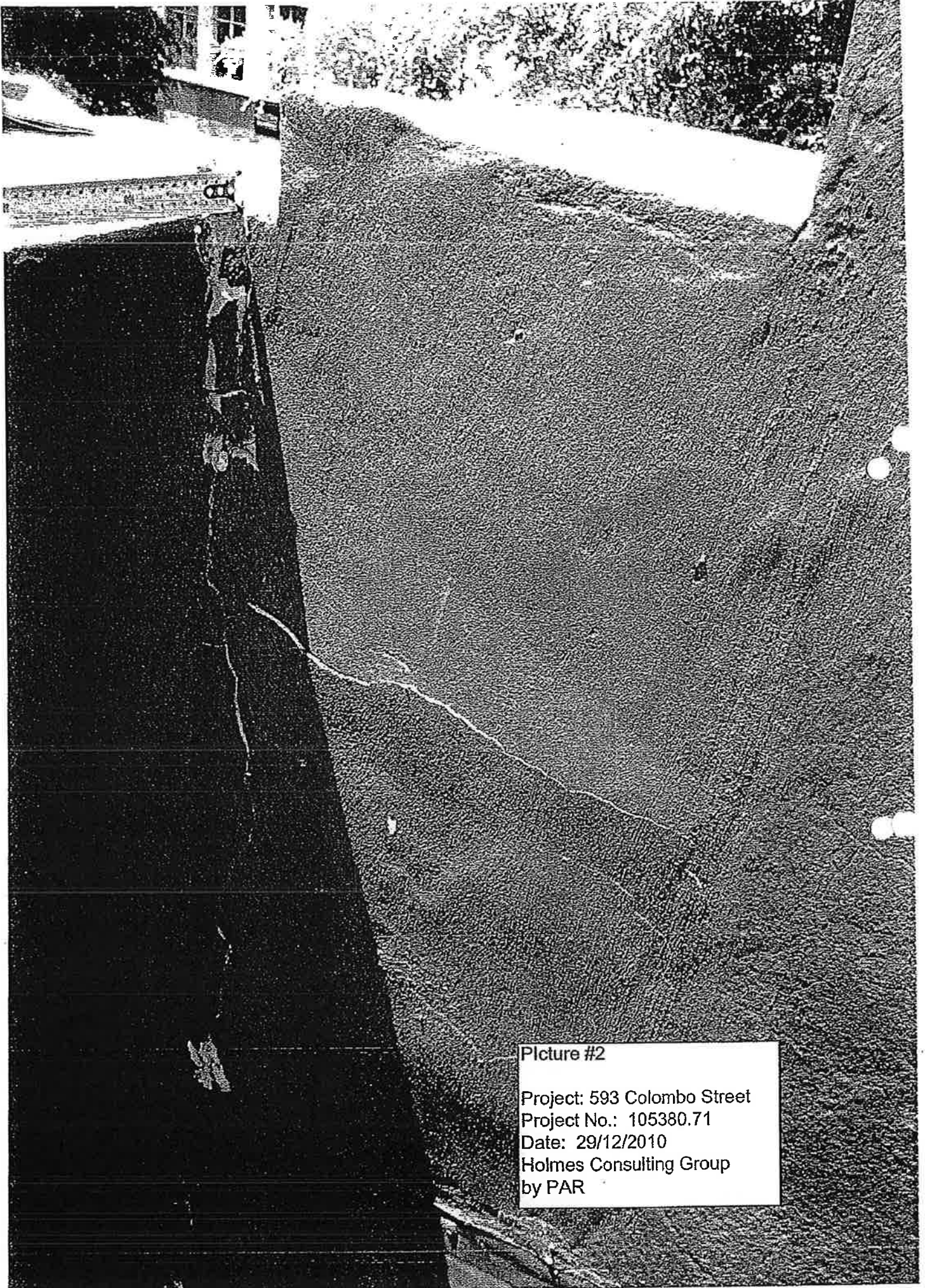
East wall has shifted outward from 1st floor ceiling.





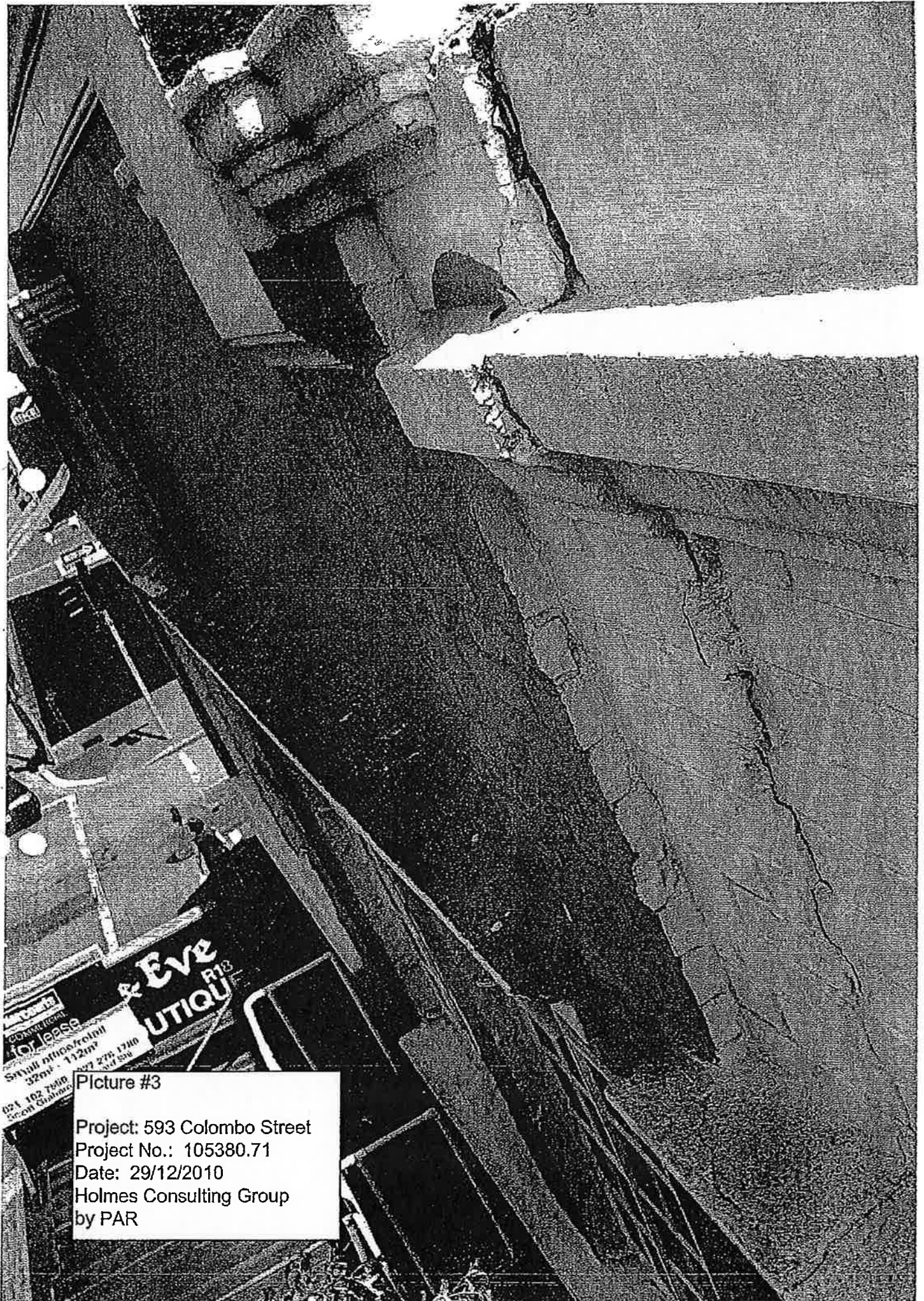
Picture #1

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR



Picture #2

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR

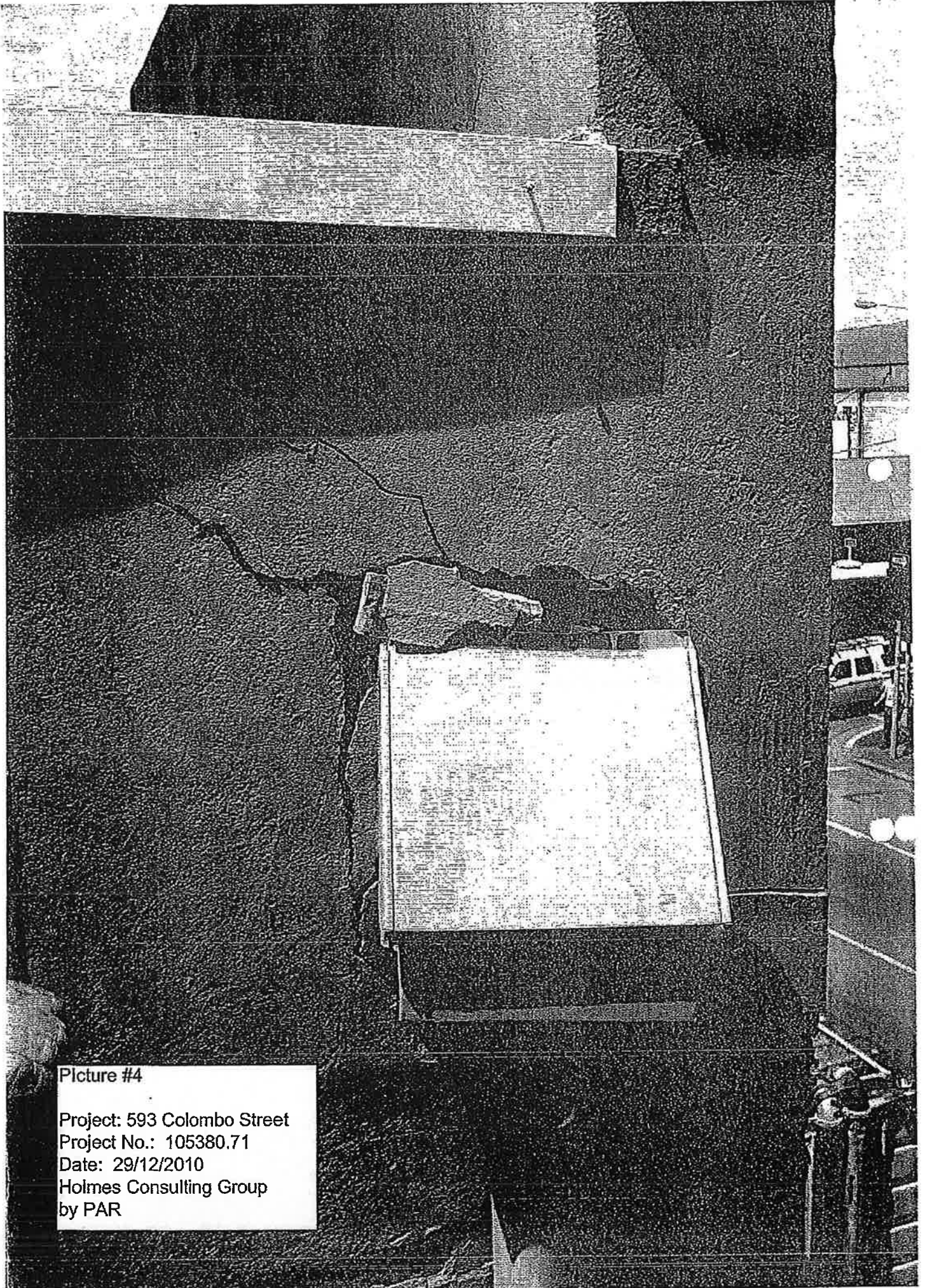


Picture #3

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR

for lease
Situall nino/roini
32m² - 112m²
021 102 7810
Acorn Graham

Eve
R18
UTIQU

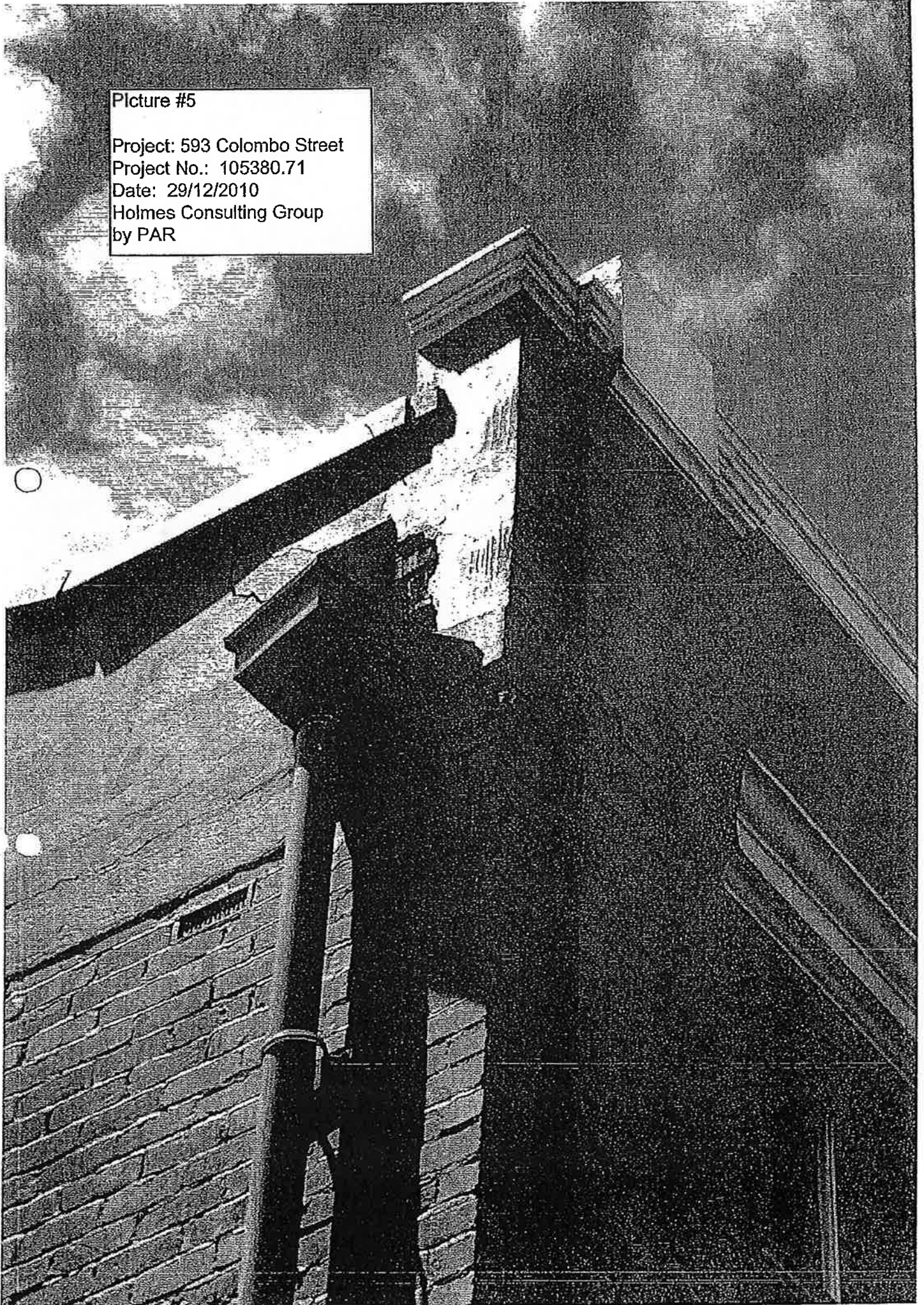


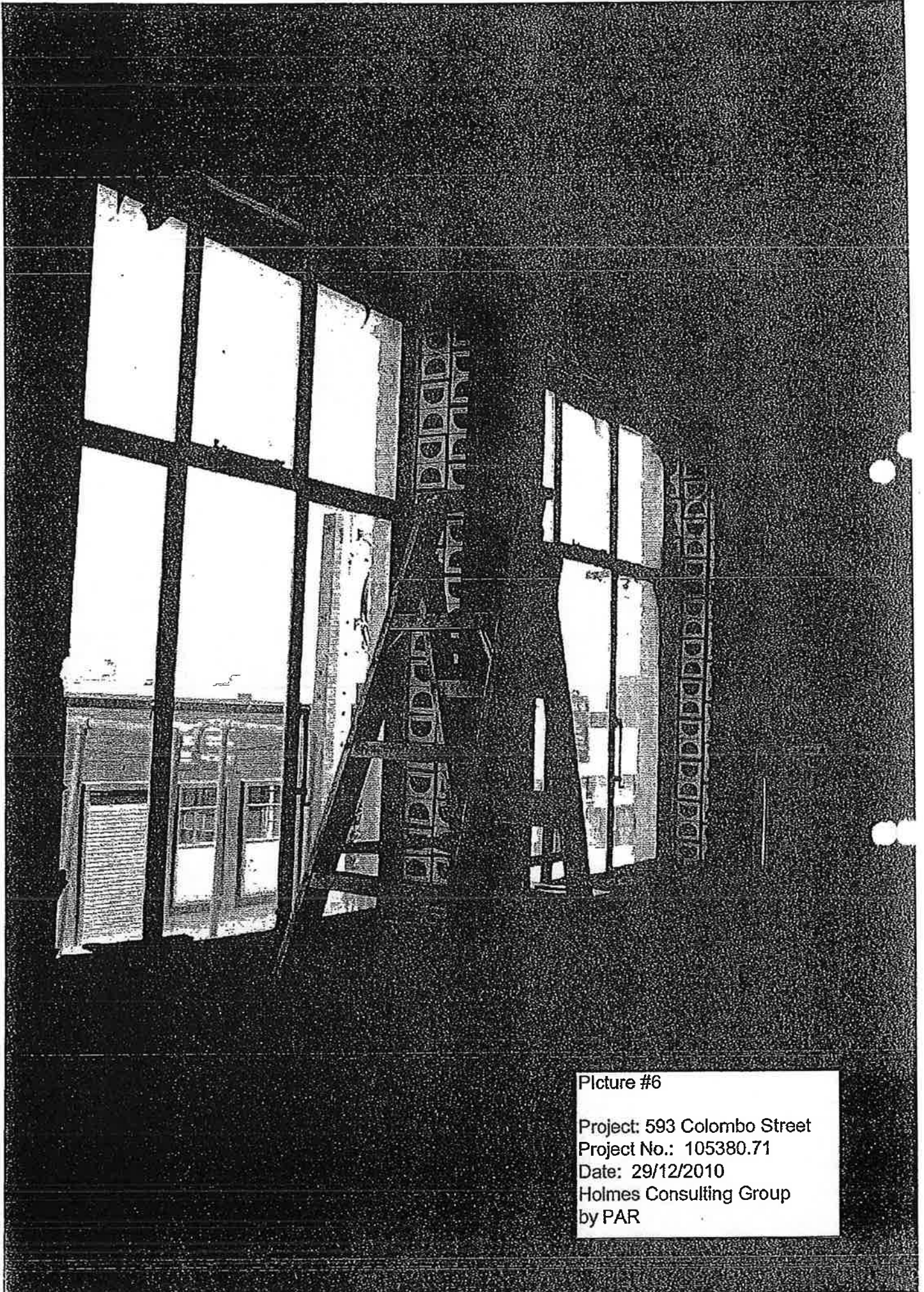
Picture #4

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
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Picture #5

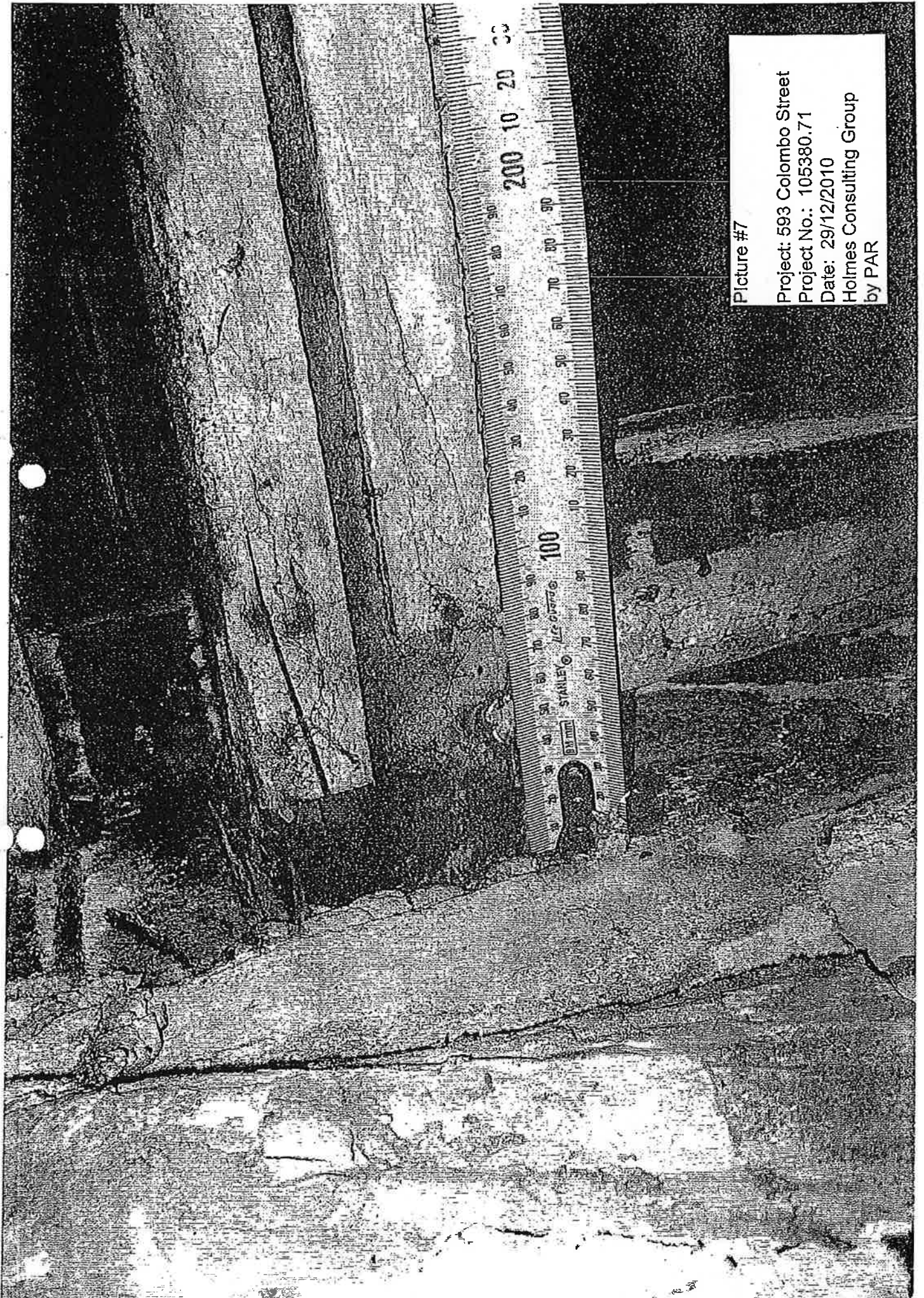
Project: 593 Colombo Street
Project No.: 105380.71
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Picture #6

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR



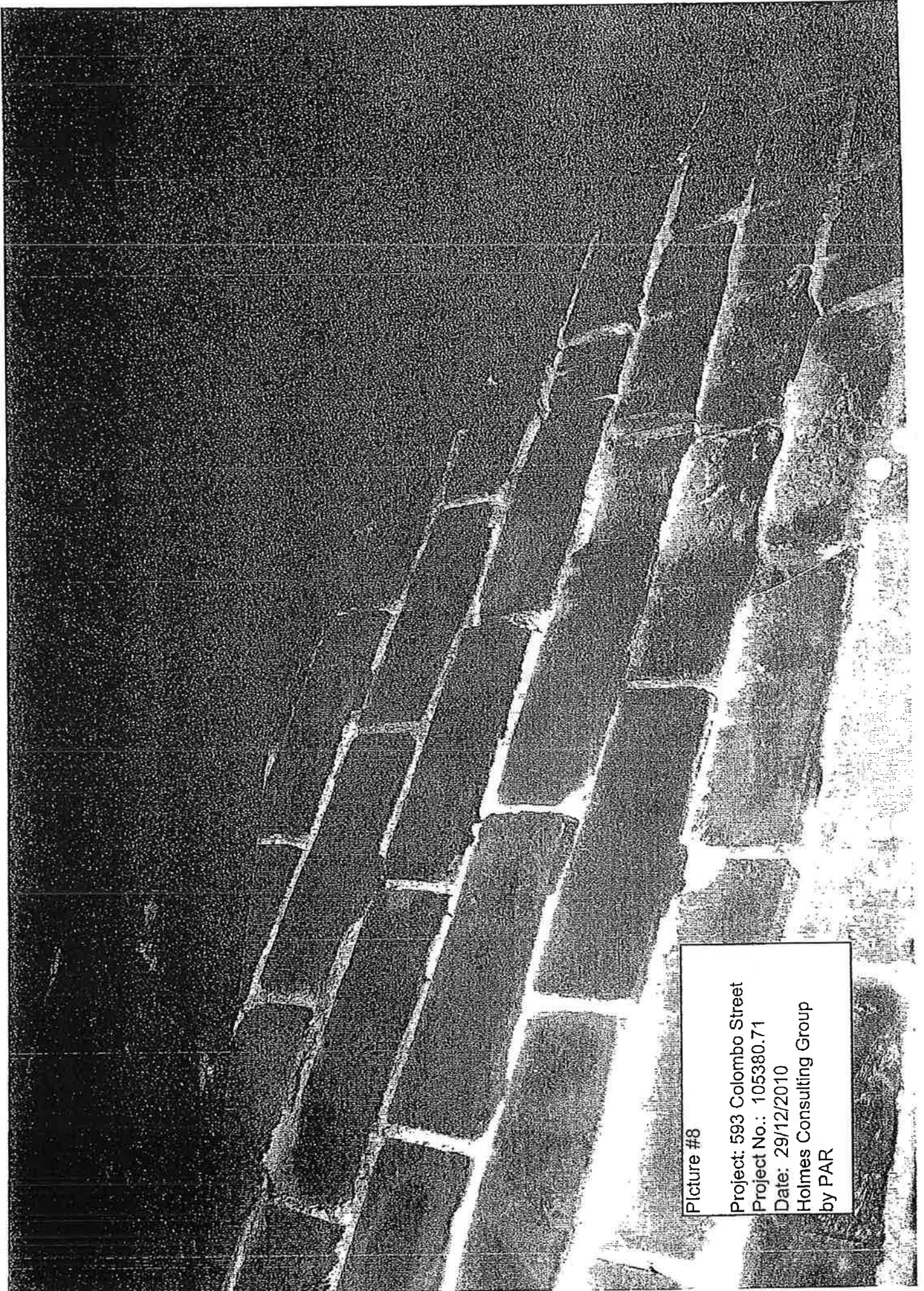
Picture #7

Project: 593 Colombo Street

Project No.: 105380.71

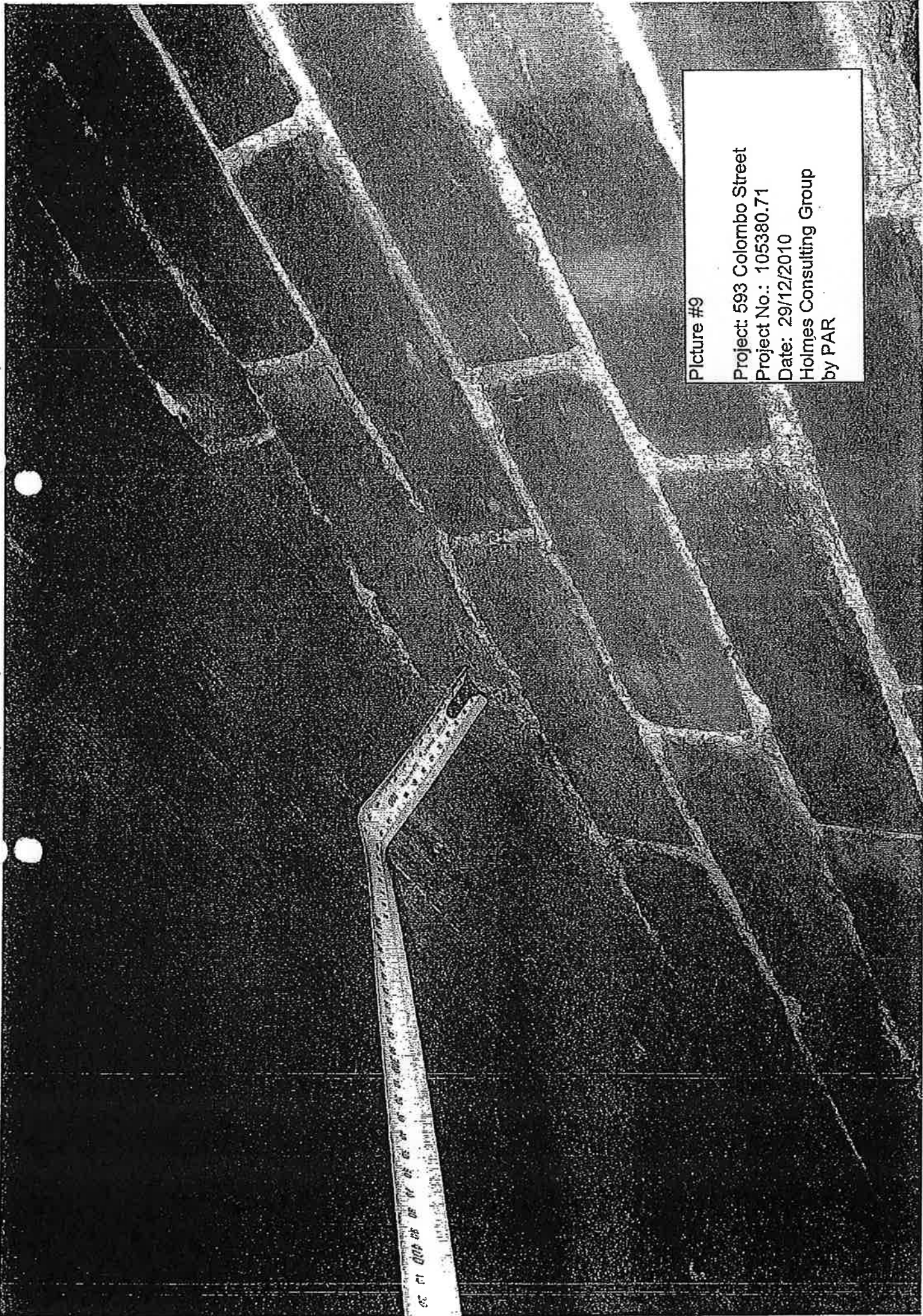
Date: 29/12/2010

Holmes Consulting Group
by PAR



Picture #8

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR

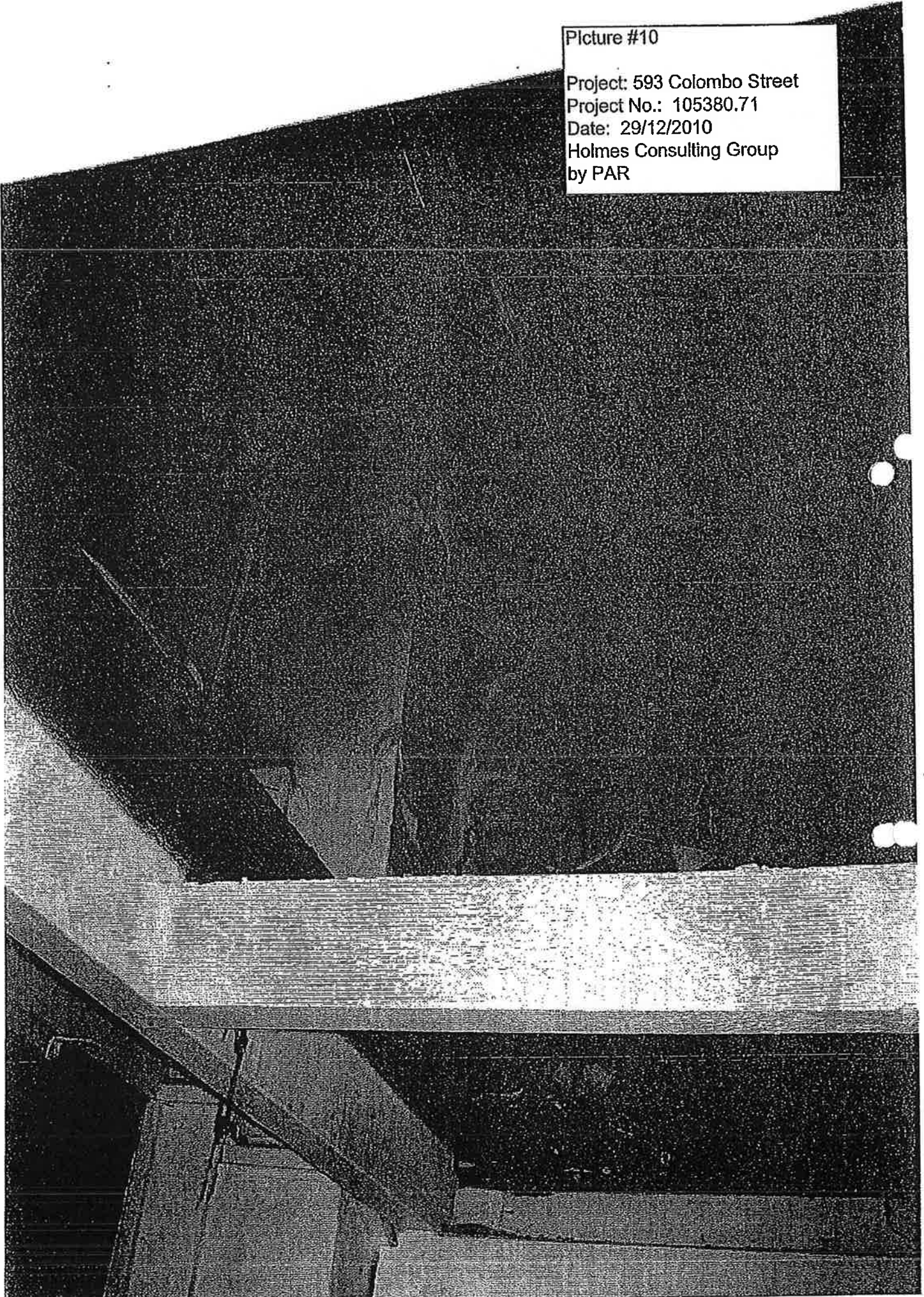


Picture #9

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR

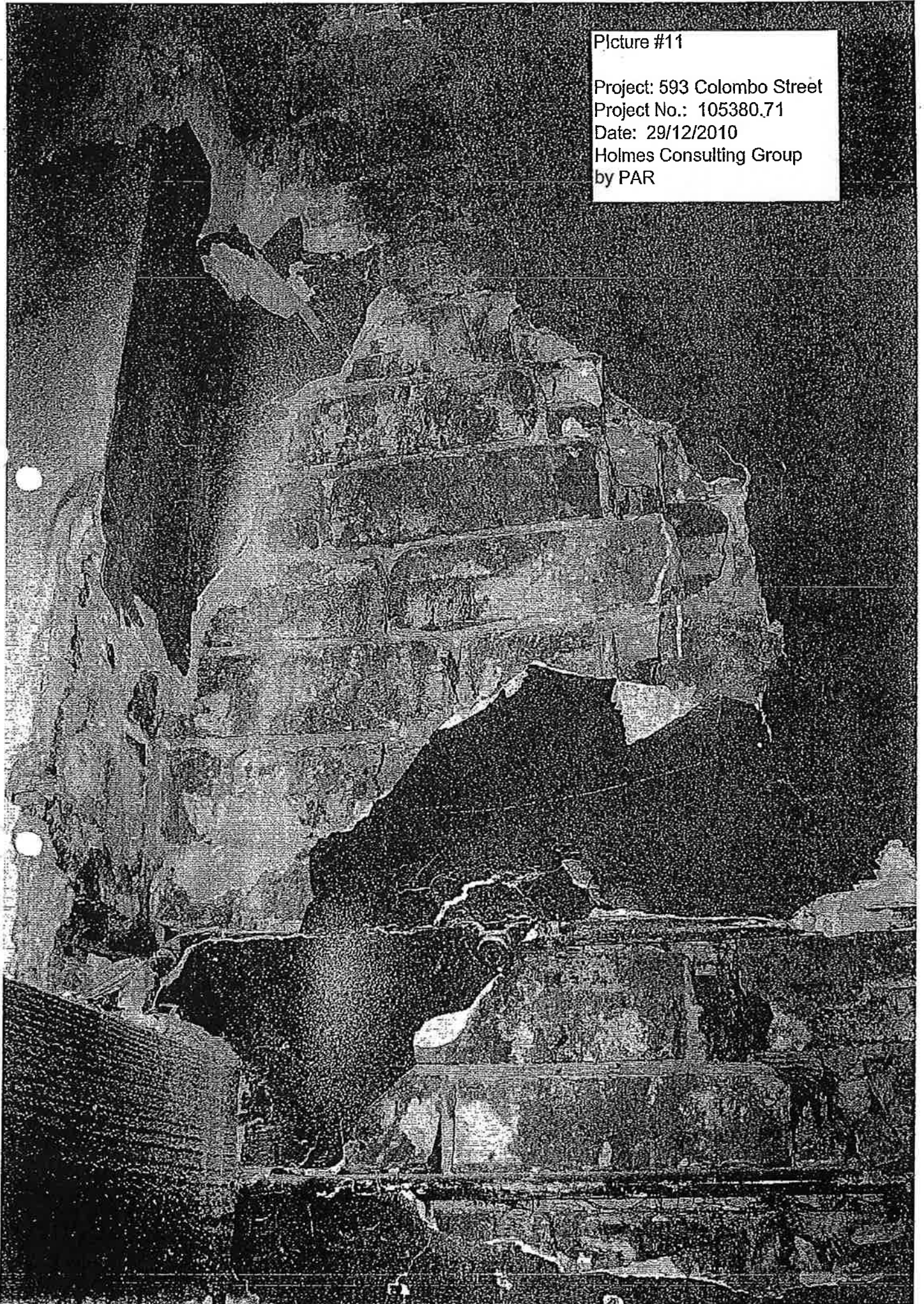
Picture #10

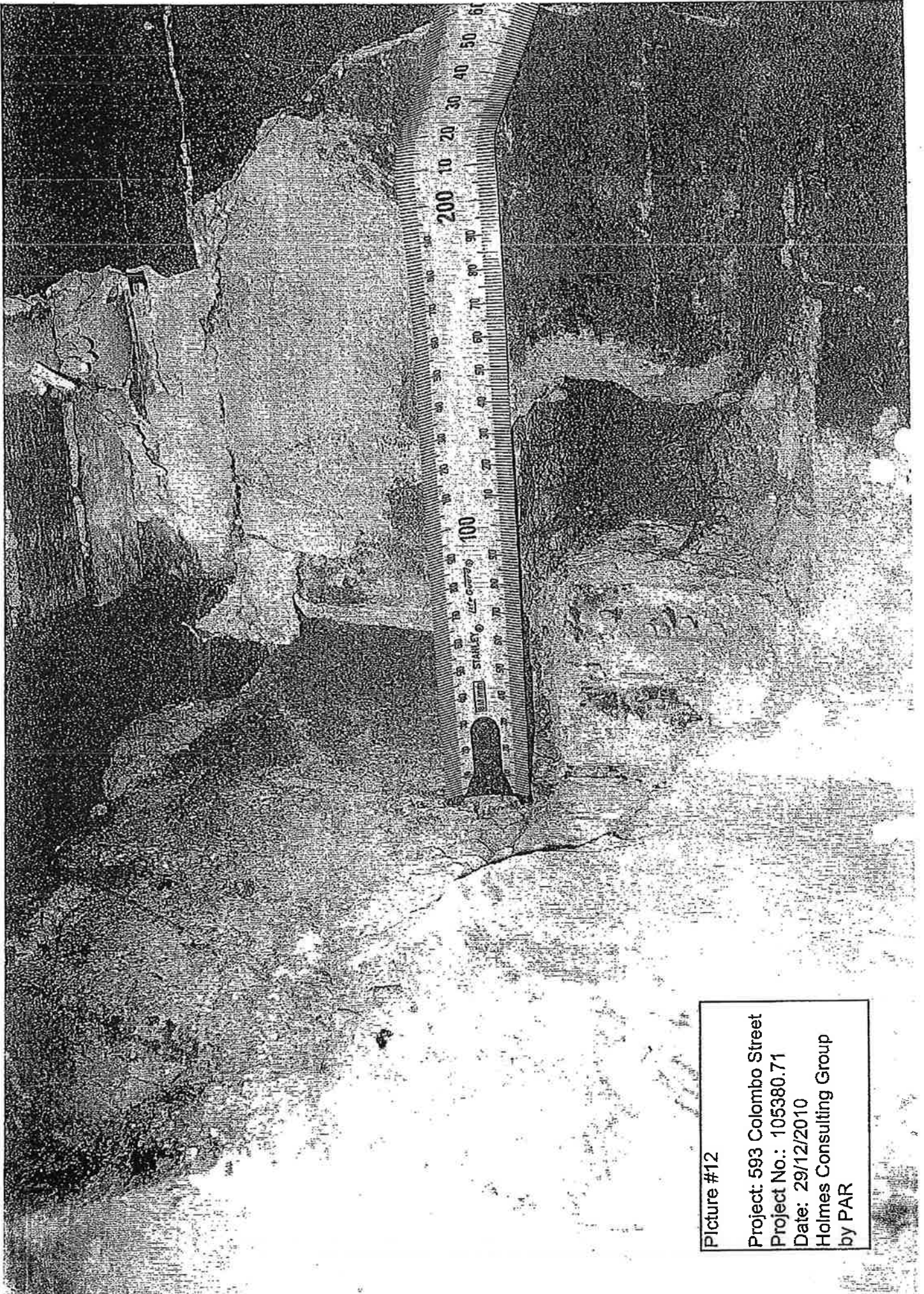
Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR



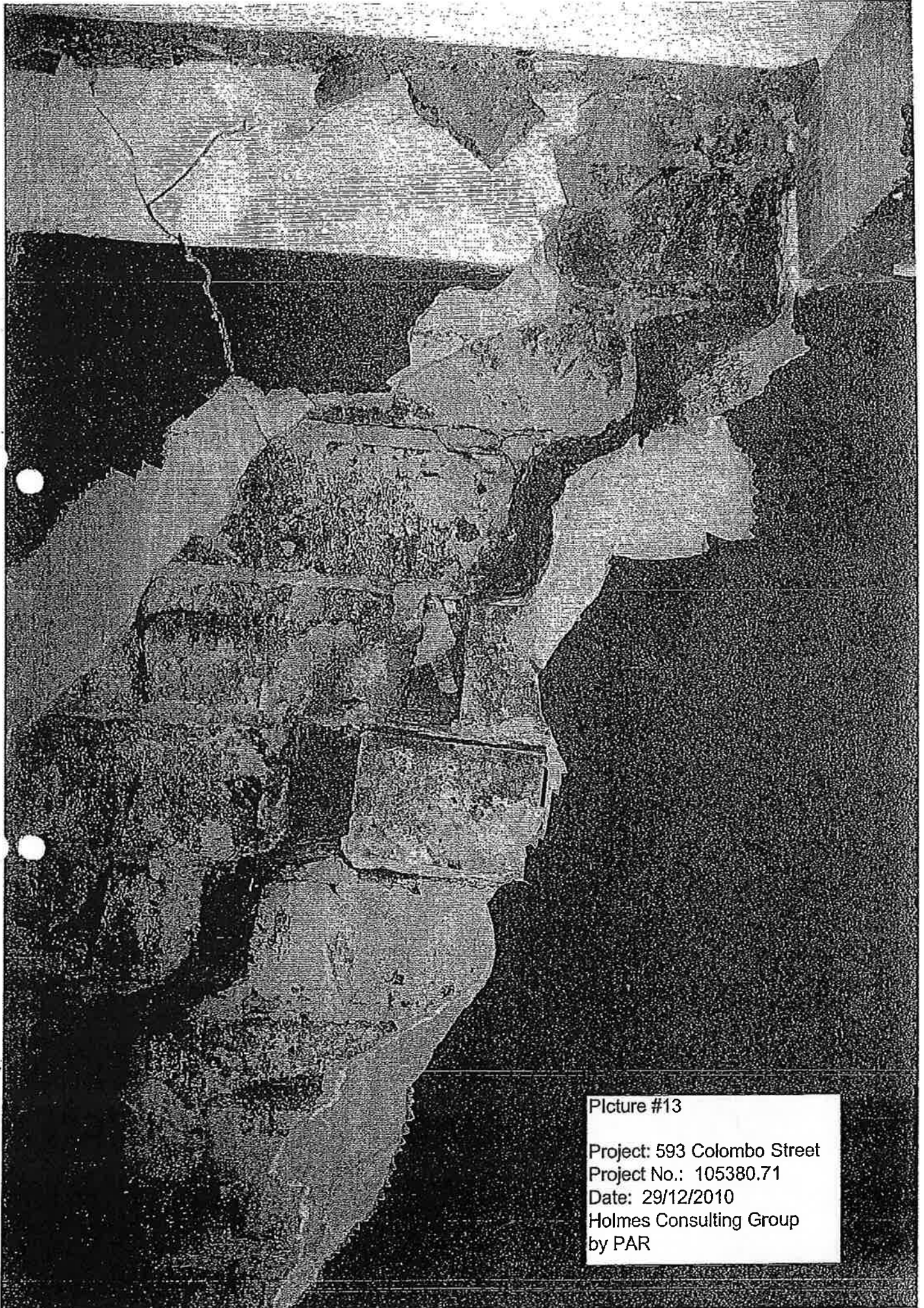
Picture #11

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR





Picture #12
Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR

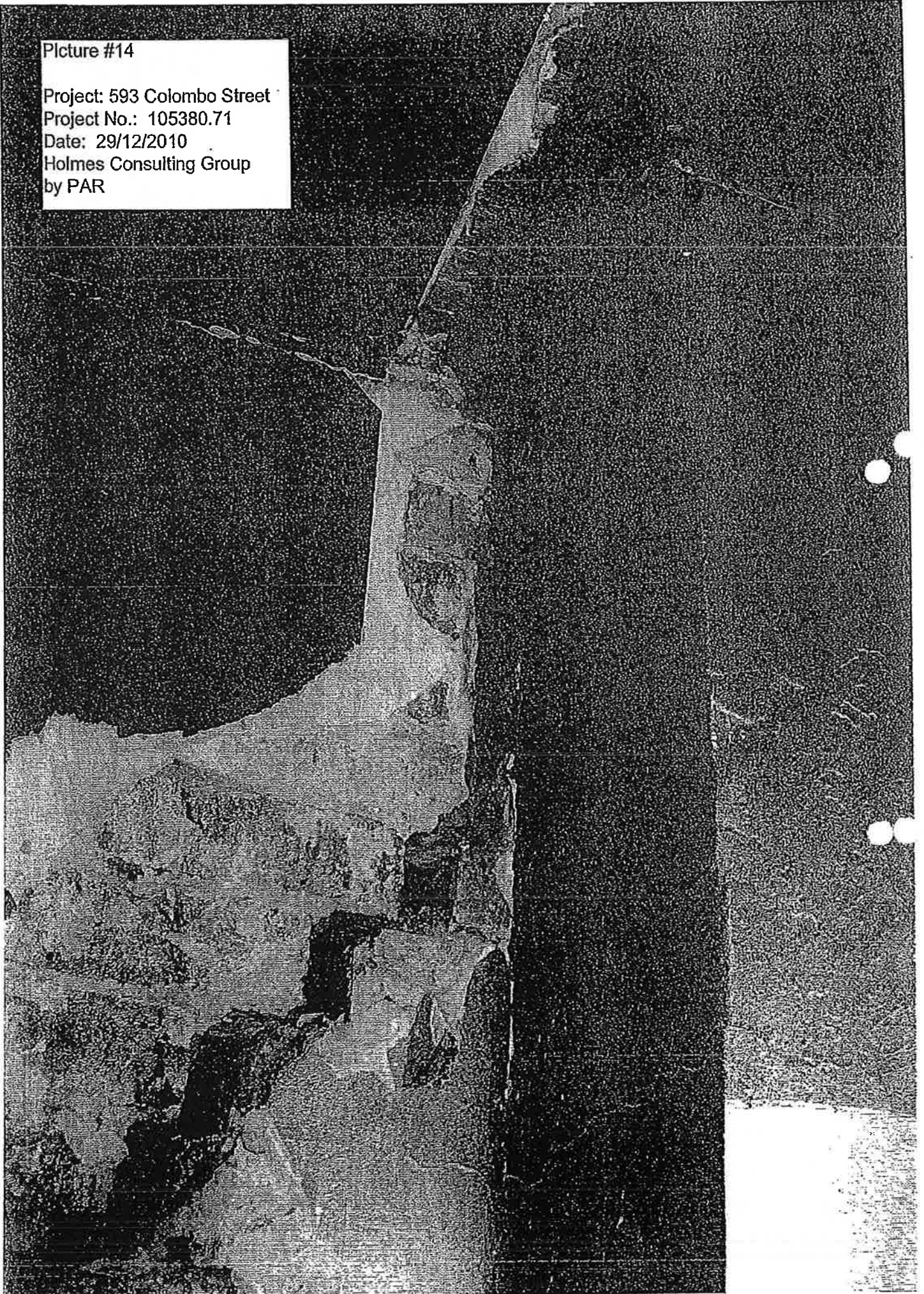


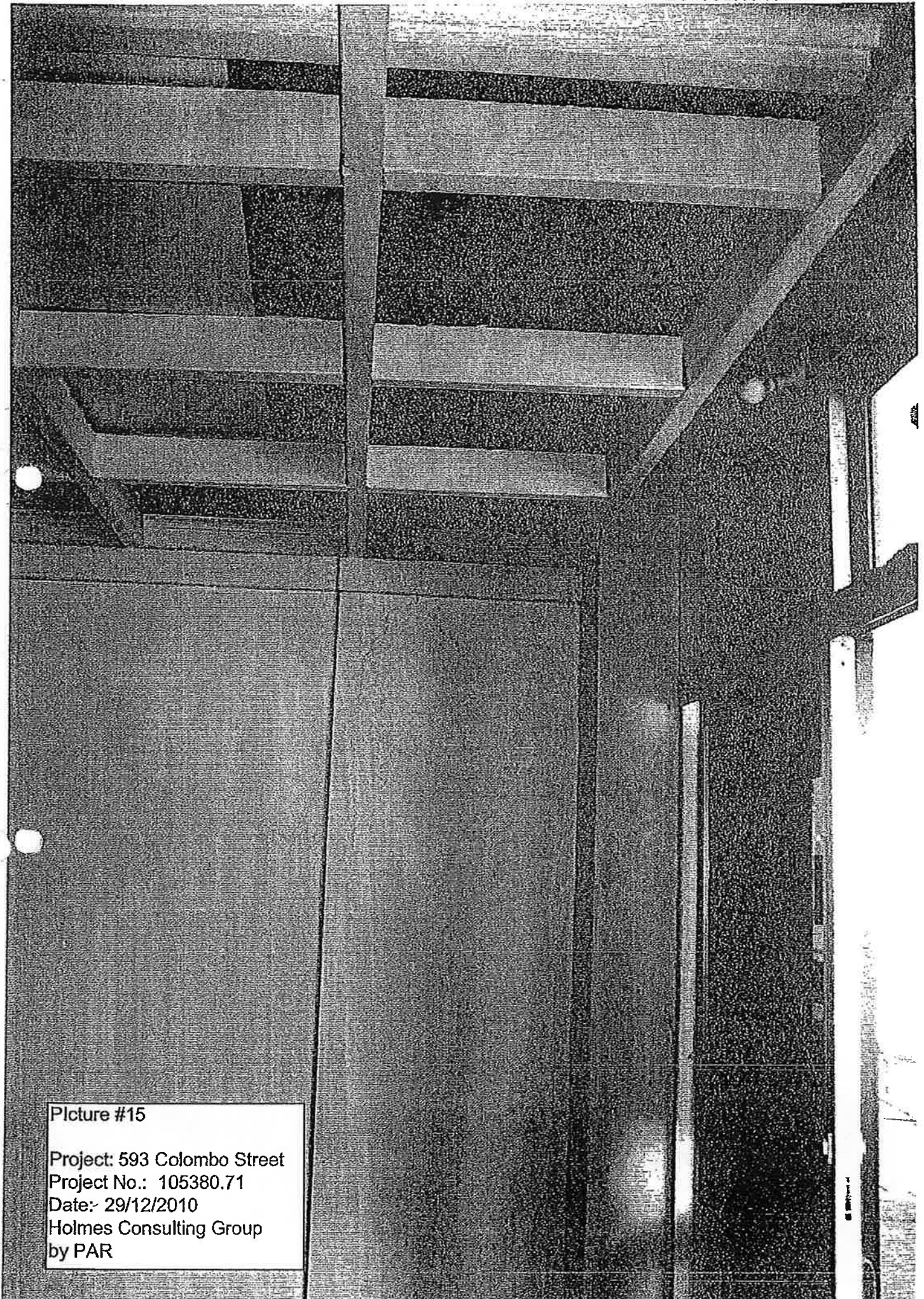
Picture #13

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR

Picture #14

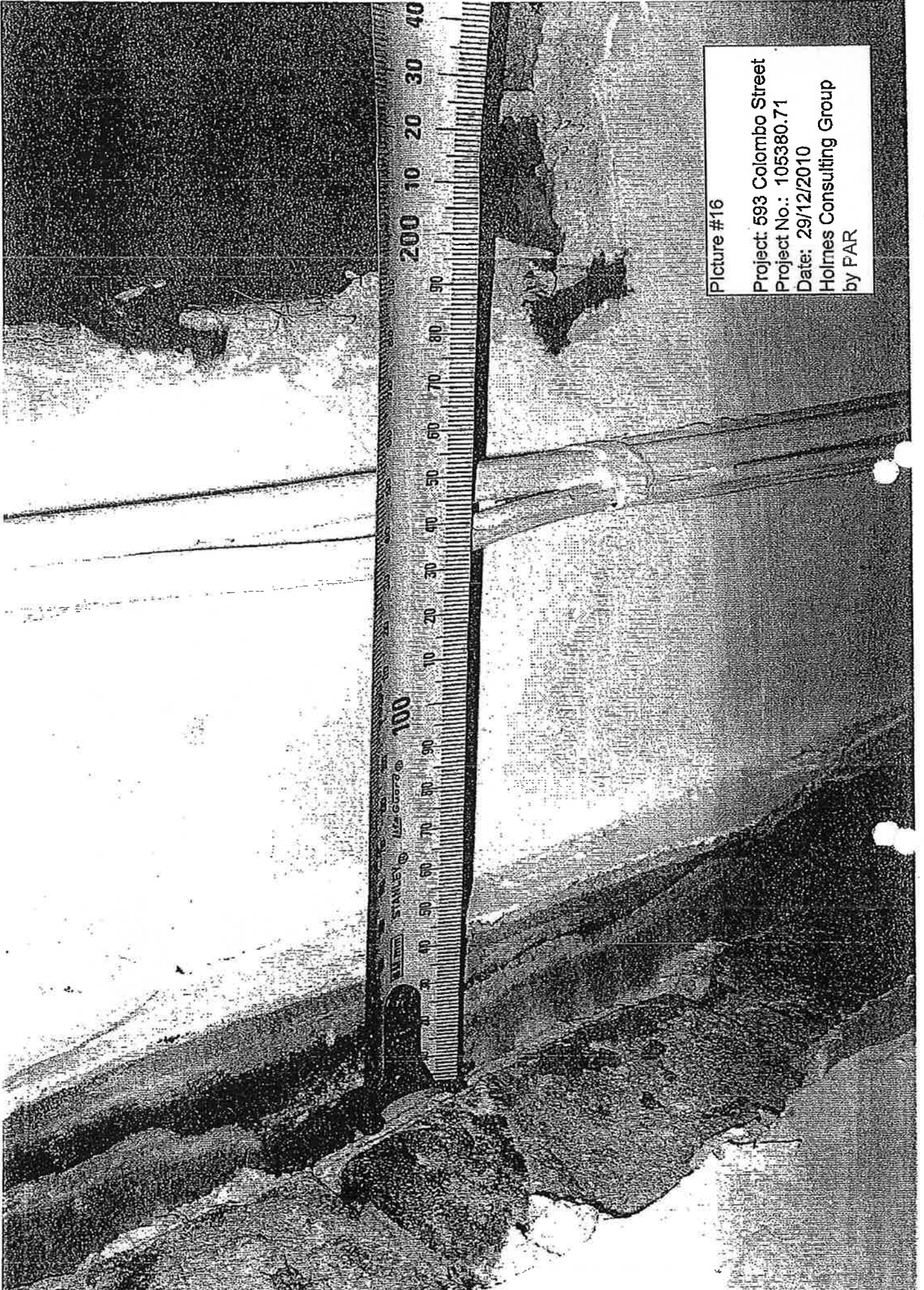
Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR





Picture #15

Project: 593 Colombo Street
Project No.: 105380.71
Date: 29/12/2010
Holmes Consulting Group
by PAR



Picture #16

Project: 593 Colombo Street

Project No.: 105380.71

Date: 29/12/2010

Holmes Consulting Group
by PAR

Mark Zarifeh

To: Evans, Marie
Subject: RE: Canterbury Earthquakes Royal Commission - Requirement for Information dated 28 October 2011 Re: 593 Colombo Street [DLANZ-CLIENT.FID69517]

Dear Marie,

I note in your response(para 3) you refer to an inspection by Alistair Boys on 24/9/10 and attach a copy of his Level 2 assessment.

I believe that it may be necessary for Mr Boys to give evidence at the hearing. Could you please advise him.

Could you also please obtain the following information from Mr Boys, as soon as possible:

1. Did he arrange for a yellow placard to be affixed to the building?
2. The assessment form refers to 593 Colombo St. It would therefore appear to relate to the building as a whole? Please confirm.

3. Did he advise the occupiers and Harcourts of his conclusion that the building be yellow placarded and as a result have only "short term entry"? Please explain what occurred and why.

4. Did he advise the ChCh Council of his assessment and conclusions? If not, please explain why not.

5. Which photos are the ones taken at that inspection?

Please provide more detail if possible as to the structural concerns Mr Boys had with the building, in particular the separation of the floor and walls as noted.

This information is requested pursuant to the Royal Commission's powers of investigation under s4C Commissions of Inquiry Act 1908.

If you have any queries please do not hesitate to contact me.

Regards,

Mark Zarifeh.

From: Evans, Marie [mailto:Marie.Evans@dlapf.com]
Sent: Tuesday, 15 November 2011 2:32 p.m.
To: Mark Zarifeh
Cc: Hannan, John
Subject: Canterbury Earthquakes Royal Commission - Requirement for Information dated 28 October 2011 Re: 593 Colombo Street [DLANZ-CLIENT.FID69517]

Dear Mark

I attach our client's response to your Requirement for Information dated 28 October 2011 relating to 593 Colombo Street. The letter refers to enclosed photographs. I intend to send these to you under cover of 2 separate emails (given their volume). If they bounce back, I will send to you in the postal system.

Please acknowledge receipt.

Many thanks

Regards

Marie Evans
Enrolled Barrister & Solicitor

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Our ref: 1000524

29 November 2011

Mark Zarifeh
Canterbury Earthquakes Royal Commission
PO Box 14053
Christchurch Mail Centre 8544
CHRISTCHURCH

Dear Mr Zarifeh

**Canterbury Earthquakes Royal Commission - Requirement for
Information dated 16 November 2011
Re: 593 Colombo Street**

We have taken our client's instructions upon the Requirement for Information as contained in your email of 16 November 2011.

We respond, adopting the same numbering as contained in your email, as follows:

Inspection : 24 September 2010

- 1 *Did Mr Boys arrange for a yellow placard to be affixed to the building following his inspection?*

Mr Boys did not affix a yellow placard to the building as there was an existing yellow placard already affixed (presumably from a previous external Level 1 inspection carried out by another party). Mr Boys' report observed that the yellow tag should remain in place. The Yellow Placard was located on or adjacent to the front entry into the Lingerie Store.

- 2 *The assessment form refers to 593 Colombo St. It would therefore appear to relate to the building as a whole? Please confirm.*

The assessment form relates to the building located at 593 Colombo St, as a whole.

- 3 *Did Mr Boys advise the occupiers and Harcourts of his conclusion that the building be yellow placarded and as a result have only "short term entry"? Please explain what occurred and why.*

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Mr Boys advised NAI Harcourts of the continued yellow placard status of the building. This advice was provided verbally during a meeting held on 24 September 2010 whilst providing an update of the building inspections carried out to that date. This was subsequently confirmed with a Site Report and Level 2 Inspection form. Due to the existing 'yellow' status of the building there were no tenants in occupation at the time of Mr Boys' inspection. Mr Boys does not recall if he specifically informed NAI Harcourts verbally that the building was to remain unoccupied but it was understood that Yellow placarded buildings were restricted to short term entry only and his Level 2 Assessment report confirmed the building to be suitable for short term entry only.

- 4 *Did Mr Boys advise the ChCh Council of his assessment and conclusions? If not, please explain why not.*

Mr Boys provided NAI Harcourts with his typed up Site Report and a copy of the completed Level 2 Assessment Form. Mr Boys did not specifically provide these to ChCh Council given there was no change in the building's status.

- 5 *Which photos are the ones taken at that inspection?*

The photographs taken during the inspection on 24 September 2010 are believed to be those referred to as CIMG1526-CIMG1535, as attached to our email of 15 November 2011. Please advise if you would like us to forward on a further set of these photographs.

- 6 *Please provide more detail if possible as to the structural concerns Mr Boys had with the building, in particular the separation of the floor and walls as noted.*

Mr Boys advises that the primary structural concerns he had regarding the building at 593 Colombo St were in relation to a) potential fall hazards and b) the potential instability of the southern wall.

Potential Fall Hazards:

The fall hazards noted concerned the parapets to the rear of the building. Mr Boys observed that they displayed evidence of cracking and displacement when viewed from ground level. The parapets to the remainder of the building did not display any obvious signs of damage from ground level.

Potential Instability of the Southern Wall:

The potential instability of the southern wall related to the apparent separation of the southern wall, on the St Asaph Street façade, from the first floor diaphragm. The separation was measured to be approximately 10mm in width and showed some evidence of pre-existence. Due to the level of displacement in evidence, Mr Boys did not consider this a collapse hazard. Mr Boys was also aware of the existing barriers beneath this wall protecting pedestrians below the building.

As noted in his Site Report, Mr Boys was of the opinion that further investigation of the building structure was warranted with particular reference to the South wall connection to the first floor (noted as second floor in the Site Report as a result of designating the Ground floor as Level 1).



Mr Boys advises there was minor damage to the interior masonry walls, timber partitions and lathe and plaster lining.

We hope the above information is of assistance.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Marie Evans'.

Marie Evans
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