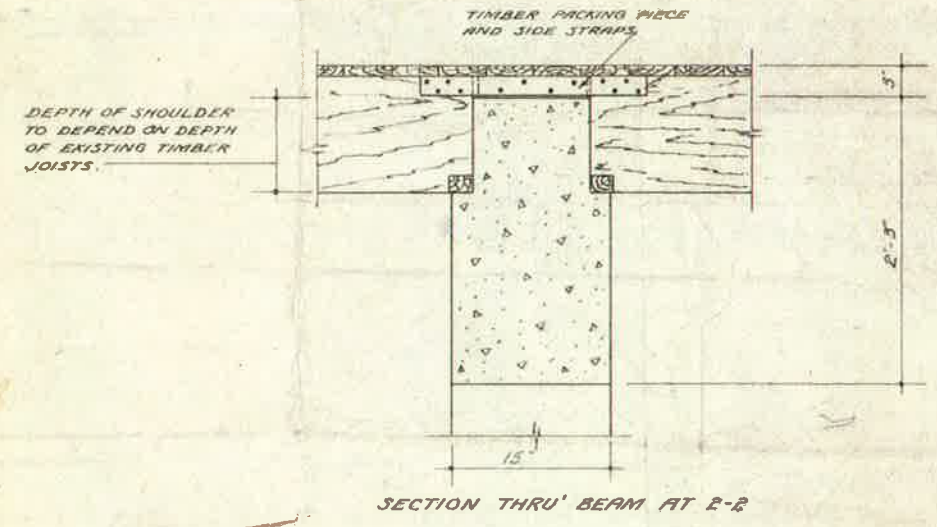
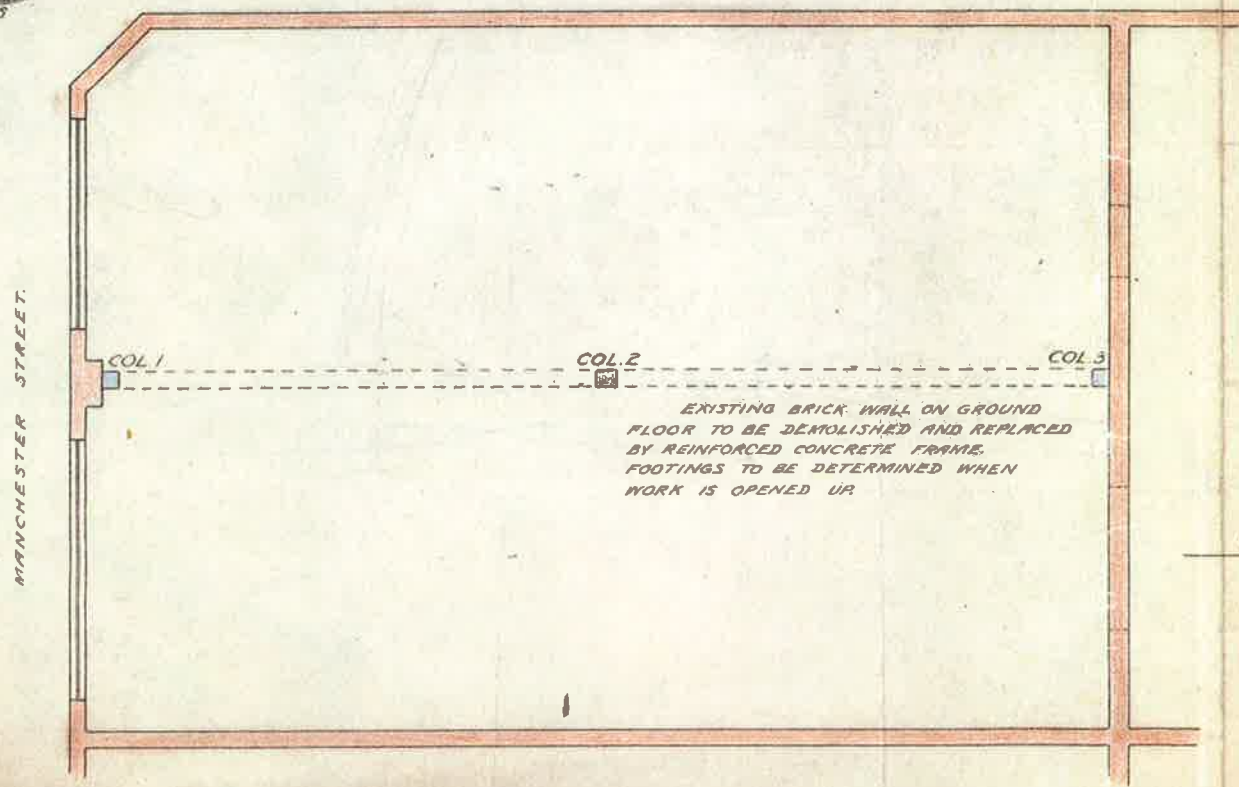


GLOUCESTER STREET.



QUANTITIES OF MATERIALS:

REINFORCING STEEL	: 2 TONS.
CONCRETE 1:1 1/2:3 MIX	: 9 CU. YDS.
" 1:2:4 MIX	: 5 CU. YDS.
CEMENT	: 4 TONS.



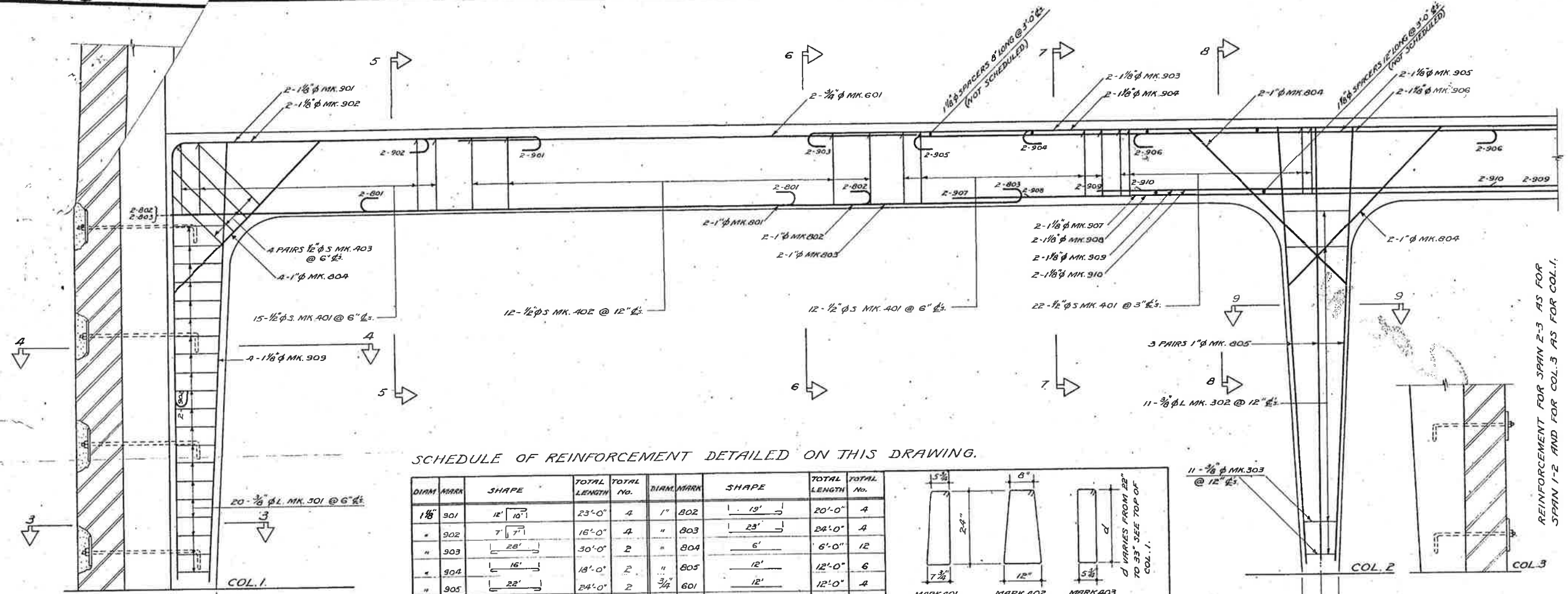
ALTERATIONS TO PREMISES AT CNR. MANCHESTER & GLOUCESTER STREETS.
 HAINES MOTORS LTD., CHRISTCHURCH

DWG. 517/1
 DATE 15-10-47

SCALES :-
 1" & 1/8" = 1'-0"

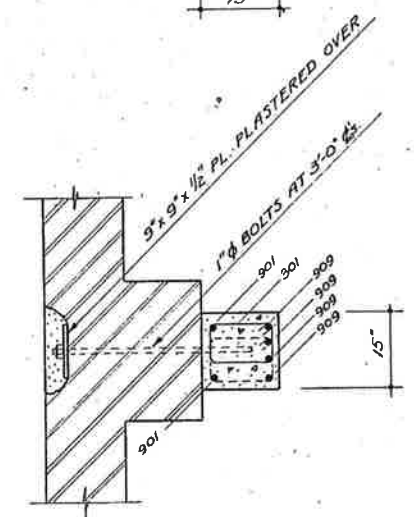
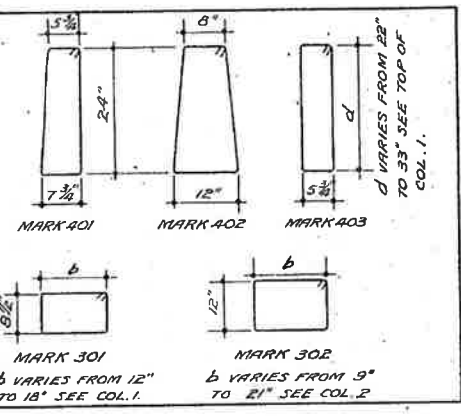
CAMPBELL & HAMANN.
 CONSULTING ENGINEERS
 136, MANCHESTER ST. CH. CH.

355



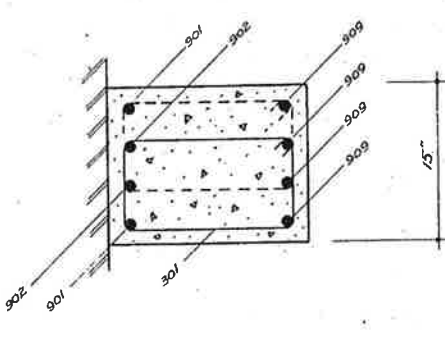
SCHEDULE OF REINFORCEMENT DETAILED ON THIS DRAWING.

DIAM	MARK	SHAPE	TOTAL LENGTH	TOTAL No.	DIAM	MARK	SHAPE	TOTAL LENGTH	TOTAL No.
1 1/8"	901	12' 10"	23'-0"	4	1"	802	19'	20'-0"	4
"	902	7' 7"	16'-0"	4	"	803	23'	24'-0"	4
"	903	28'	30'-0"	2	"	804	6'	6'-0"	12
"	904	16'	18'-0"	2	"	805	12'	12'-0"	6
"	905	22'	24'-0"	2	3/4"	601	12'	12'-0"	4
"	906	10'	12'-0"	2	1/2"	401	SEE SKETCH.	6'-0"	98
"	907	20'	20'-0"	2	"	402	"	6'-6"	24
"	908	16'	16'-0"	2	"	403	"	-	16
"	909	12'	12'-0"	10	3/8"	301	"	-	40
"	910	10'	10'-0"	2	"	302	"	-	11
1"	801	12'	18'-0"	4	"	303	12"	1'-6"	11

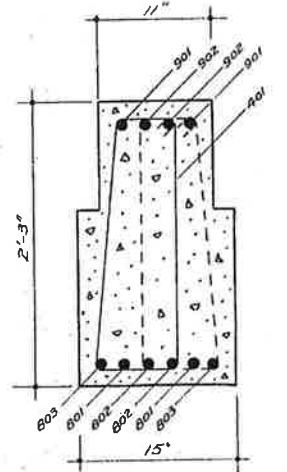


SCALE: 1/2 IN. = 1 FT.

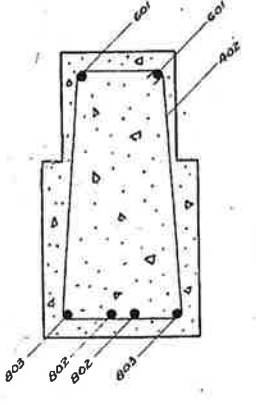
SECTION 3-3



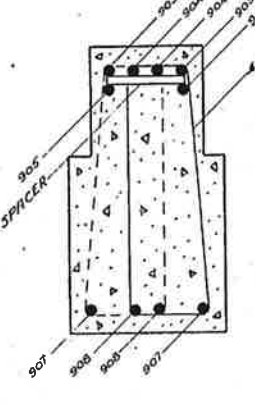
SECTION 4-4



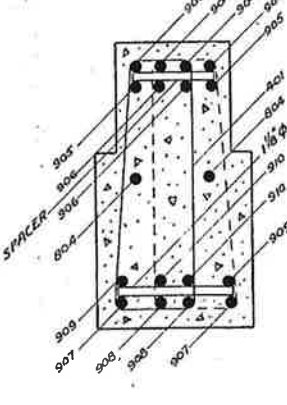
SECTION 5-5



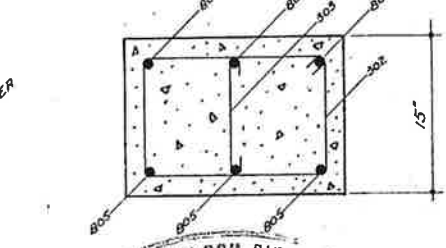
SECTION 6-6



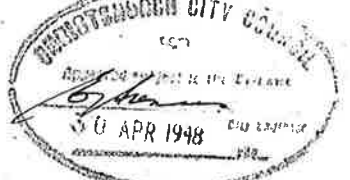
SECTION 7-7



SECTION 8-8



SECTION 9-9



NOTE: FOUNDATION DETAILS WILL BE SUPPLIED WHEN WORK IS OPENED UP.

CW 20/10/47

ALTERATIONS TO PREMISES AT CNR. MANCHESTER & GLOUCESTER STREETS
 HAINES MOTORS LTD., CHRISTCHURCH.

DWG. 51/2
 DATE 20-10-47

SCALES
 1/2" & 1" = 1'-0"

CAMPBELL & HAMANN
 CONSULTING ENGINEERS
 136, MANCHESTER ST., CH-CH

CITY OF CHRISTCHURCH

CITY ENGINEER'S DEPARTMENT
P.O. BOX 237, CHRISTCHURCH, NEW ZEALAND

Mr R.C. Alves,
Building Contractor,
22 Kingsford Street,
CHRISTCHURCH 5



19 March 1976

re Building Application No. 11 BU/1/2 B7/7
Mr Saunders

Dear Sir/Madam, your application for permission to
erect new door opening at 204 Manchester Street

has now been approved. Before work is commenced the undermentioned fees must be paid and a building permit uplifted from this office.

Vehicle Crossing	\$
Builders Water Supply	
Water Connection Charge	
Building Permit Fee	5-00
Building Research Levy	
Street Damage Deposit	
	<u>5-00</u>

The Building Permit Application is approved subject to the following conditions:

1. Compliance with the Consulting Engineer's drawing.

If the permit is not uplifted within three months of this date the application will be cancelled and the plans disposed of.

Yours faithfully

[Signature]
For Deputy City Manager and City Treasurer Engineer

DEPT.	APPLICATION NO. //	PERMIT NO.	Initial
TOWN PLANNING	Zoning		
	Siting (ordinances)		
	Coverage		
	Density		
	Height		
	Outbuildings (height area)		
	Signs		
SURVEYOR	Building Restrictions		
	C.D.B. Widening		
	C.D.B. Clearance		
	Cash in lieu of Reserve		
	D.P. or Title Amalgamation	<i>metall. V.C.B.</i>	
TRAFFIC ENGINEERS	Access		
	Off Street Loading		
	Off Street Parking		
	Turning Space		
	Motorway		
	Street Works		
DISTRICT ENGINEERS	Vehicle Barriers		
	Sealing of Areas		
	Location of Gully Traps etc.		
	Culverts and Accesses		
	Drainage		
BUILDING INSPECTORS	Fire Zone and Resistance		
	Siting (By laws)		
	Light and Ventilation		
	Room Sizes and Stud Ht.		
	Heating and Storage		
	Toilet and Laundry Accomod.		
	Mezzanine Floors		
	Storm Water and Section Levels		
	Entrance Levels		
	Projections over Street		
	Verandahs		
	Hoardings		
	Street Numbers		
STRUCTURAL ENGINEERS	Fire Resistance Requ.		
	Projections over Street		
	Structural Stability		
EGRESS OFFICER	Egress and Exit Signs		
	Fire Fighting Equipment		
	Alarm Systems		
	Emergency Lighting		
	Fire Stops		
HEALTH INSPECTORS	Wall Linings		
DANGEROUS GOODS INSPECTORS			
WATER INSPECTOR			

2/106

DRB. WEF

RS

DESIGN CERTIFICATE



To The City Engineer
CHRISTCHURCH

MEMBER OF
THE ASSOCIATION OF CONSULTING ENGINEERS
NEW ZEALAND

A Division of the New Zealand Institution of Engineers

I, Norman David HARDIE
being registered under the provisions of the Engineers Registration Act 1924 and currently holding an Annual Practising Certificate, hereby certify that I have supervised the design of, and the computations for a wall opening

shown on the accompanying plan(s) prepared in my office, numbered 1627
titled AMURI MOTORS LIMITED
dated March 1976 and described in the accompanying specifications for a

[TYPE OF STRUCTURE]

proposed to be erected for
on lot _____ Section _____ Deposited Plan No. _____
Located at Manchester Street

I further certify that the works defined above have been designed in accordance with sound and widely accepted engineering principles; that they have designed to support the loads specified in NZS 1900 Chapter 8.

and further that I have ascertained to the best of my ability that the stresses and combinations of stresses in the various materials of construction under the above loads will not exceed the maxima to ensure the safety and stability of the structure if erected in accordance with these plans and specifications.

Various aspects of the design are in accord with the following relevant authorities

Signature: N D Hardie Association Member Date 17 March, 1976

Professional Qualifications B.E., F.N.Z.I.E., M.I.C.E.

For and on behalf of _____

Address P.O.Box 13-045, Christchurch.

Hardie + Anderson



JOB No 1627 FILE

SHEET No

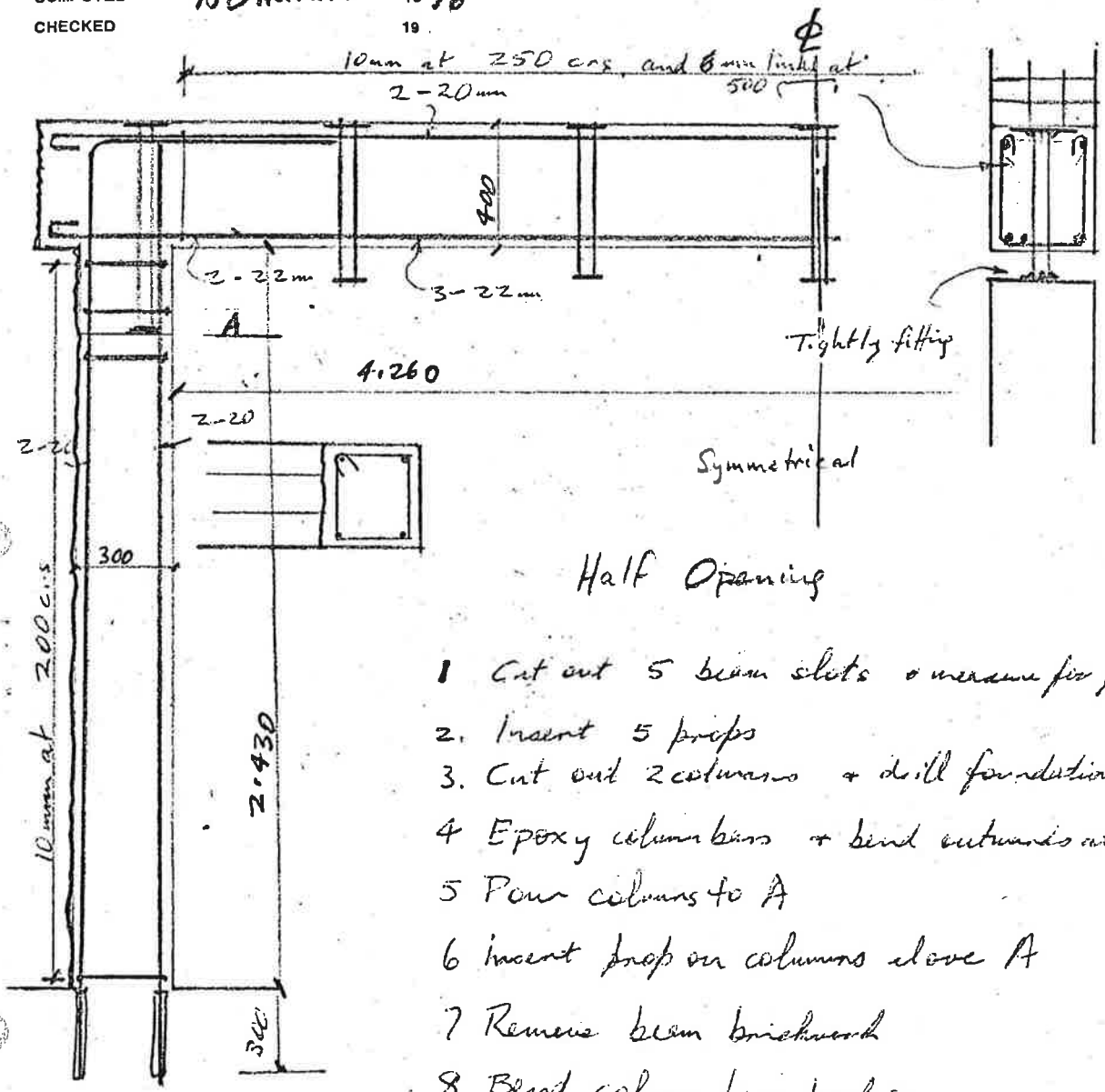
COMPUTED
CHECKED

ND Hardie

19 76
19

PROJECT Annure Motors Ltd

DESCRIPTION



Half Opening

- 1 Cut out 5 beam slots & measure for props
2. Insert 5 props
3. Cut out 2 columns & drill foundation holes
- 4 Epoxy column bars & bend outwards at A.
- 5 Pour columns to A
- 6 Insert prop on columns above A
- 7 Remove beam brickwork
- 8 Bend column bars back in.
- 9 Add beam bars & top column stirrups.
- 10 Pour beam
11. Strip beam, cut off props
- 12 Remove central bricks.

CHRISTCHURCH CITY COUNCIL
Approved Subject to the By-Laws
19 MAR 1976
A. Gray
For City Engineer

Concrete no less than 20 MPa

Vibrate all concrete

Props no less than 50mm steel water pipe, no more than 500mm long.

204 MANCHESTER ST


PHONE 888-945
55 KINGSTOLD STREET, CHICHESTER
RON C. VLAZ - Building Consultant

Door
OPENING

CEN

75-3571

RECORDING OFFICE

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i></p>	<p align="center">CHRISTCHURCH CITY COUNCIL</p> <p align="center">BUILDING ACT 1991 [S.31]</p> <p align="center">PROJECT INFORMATION MEMORANDUM</p>	<p>FORM: BA2</p>
		<p>PROJECT NO.: 9306593</p>



[Cross each applicable box and attach relevant documents in duplicate.]

<p align="center">OWNER</p> <p>Name: GLOMAN HOLDINGS LIMITED Mailing Address: P O BOX 487 CHRISTCHURCH</p> <p>Contact: A.COWIE P O BOX 22161 CHRISTCHURCH Phone: Fax: Application Received: 19 MAY 1993</p>	<p align="center">PROJECT LOCATION</p> <p>Street address : No.: 200 Street Name: MANCHESTER ST Suburb/Locality: HAGLEY Legal Description: Valuation Roll: 2270021600 Dp No 1911 Lot No 7</p>
<p align="center">COUNCIL CHARGES</p> <p>The Council's total charges payable in respect of this Project Information Memorandum, in accordance with the letter of advice dated 31 May 1993 are:</p> <p align="right">\$112.50</p> <p>Receipt No.:</p>	<p align="center">PROJECT</p> <p><input type="checkbox"/> New or relocated building <input checked="" type="checkbox"/> Alteration</p> <p>Intended use(s) (<i>In detail</i>): COMMERCIAL - ALTERATIONS - GROUND FLOOR</p> <p>Intended life: <input checked="" type="checkbox"/> Indefinite but not less than 50 years <input type="checkbox"/> Specified as _____ years <input type="checkbox"/> Demolition</p> <p>Being stage _____ of an intended _____ stages.</p>

This Project Information Memorandum is:

- Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the Building Consent.
- Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.
- Notification that other authorisations must be obtained before the project may commence (other than a building consent).

2.

This Project Information Memorandum includes:

(Cross each applicable box, attach relevant documents, and send a copy of any relevant network utility operators and organisations having the power to classify land and buildings.)

- Information identifying relevant special features of the land concerned.
- Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.
- Details of relevant utility systems.
- Details of authorisations which have been granted.
- Details of authorisations which have been refused.
- Details of other authorisations required under any other Act or Regulation.

Signed for and on behalf of the Council:

Name: *PK Carr*

PHIL CARR

Position:

Building Information Officer

Date: 31 May 1993

NB: A PIM shall lapse and be of no effect if the building consent for the building work concerned has not been issued within 24 calendar months after the date of issue of the PIM.
[S.5(3) of the Regulations refers]



CHRISTCHURCH CITY COUNCIL

18 June 1993

Alan Cowie
 P O BOX 22161
 CHRISTCHURCH

FILE

Dear Sir/Madam

**APPLICATION FOR BUILDING CONSENT
 PROJECT NO 9306593**

Your application for a Building Consent for proposed erection of
 STRUCTURAL ALTERAT.& GROUND FLOOR FITOUT
 at 200 MANCHESTER ST
 HAGLEY refers.

This notice serves to advise that the building consent application for the above works has been granted and that the consent together with the "Conditions of Building Consent", if any, can be uplifted from **CIVIC OFFICES** on payment of the undermentioned fees.

To ensure that the consent is handed to the correct person, would you please present this notification as a means of identification.

You are advised that building work in respect of the consent must not start prior to you being in possession of the building consent.

.../2

CONTACT

PUBLIC HEALTH & SAFETY UNIT
 P O BOX 237 CHRISTCHURCH

FILE

2ND FLR, CARRUCA HOUSE, 24 CATHEDRAL SQ.
 TELEPHONE (03) 371-1675 FAX (03) 371-1920



CHRISTCHURCH CITY COUNCIL

CONDITIONS OF BUILDING PROJECT NO 9306593

FOR: Bar and Restaurant

AT: 200 Manchester Street

1. Compliance with the amendments shown or attached to the approved plans.
2. That the owner's consultants responsible for inspection of the building works provide a statement upon completion of the works to confirm that the appropriate inspections have been conducted and that the building work has been completed to the extent required by the building consent.
3. That the builder provide a statement upon completion of the works confirming that construction has been completed to the extent required by the building consent.
4. That a record of each site visit made by the owner's consultant is kept on site, preferably in a folder in the builders shed for reference by City Council Inspector's carrying out audit compliance inspections.




CONTACT

CIVIC OFFICES • 163-173 TUAM STREET • P O BOX 237 • CHRISTCHURCH 1
NEW ZEALAND • TELEPHONE (03) 379-1660 • FAX (03) 379-7786

FILE

CEN

 <p>CHRISTCHURCH THE GARDEN CITY <i>the city that shines</i></p>	<p>CHRISTCHURCH CITY COUNCIL</p> <p>BUILDING ACT 1991 [S.33]</p> <p>APPLICATION FOR BUILDING CONSENT</p>	<p>FORM: BA3</p>
		<p>PROJECT NO.:</p> <p>93 06593</p>

SCOPE OF APPLICATION. This Application is for:

- Project Information Memorandum and Combined Building Consent Building Consent only.

[Tick each applicable box and attach relevant documents in duplicate.]

<p style="text-align: center;">APPLICANT * (OWNER)</p> <p>Name: <u>ALAN COWIE (OWNERS AGENT)</u></p> <p>Mailing Address: <u>P.O. Box 22161</u> <u>CH - CH</u></p> <p>Contact: [Print name and position]: <u>TONY DUDER (LEASEE)</u> <u>PH 3666666</u></p> <p>Phone: <u>3797685</u> Fax: <u>3654493</u> <u>3771447</u></p> <p><small>* Under Section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.</small></p>	<p style="text-align: center;">PROJECT LOCATION</p> <p>Street address (If any): <u>CNR MANCHESTER/GLOUCESTER ST</u> <u>ZOO MANCHESTER ST</u></p> <p>Legal Description [As shown on certificate of title or rates notice, if any]:</p> <p>Lot: <u>5, 6, 7</u> DP: <u>1911</u></p> <p>Section: SO:</p> <p>Site Area:</p> <p>C.T. No.:</p> <p>Other:</p>
<p style="text-align: center;">FOR COUNCIL USE</p> <p>Received: <u>19.1.5.1993</u></p> <p>Application fee: \$ <u>112.50</u></p> <p>Receipt No.</p> <p>Balance of fees payable: \$</p> <p>Receipt No:</p> <p>Date:/...../..... Rec'd. 19 MAY 1993</p> <p>Zone: <u>CIVIC OFFICES</u></p> <p>Ward:</p>	<p style="text-align: center;">PROJECT</p> <p><input type="checkbox"/> New or relocated building <input checked="" type="checkbox"/> Alteration</p> <p>Intended use(s) (In detail): <u>GROUND FLOOR BAR & RESTAURANT - structural</u> <u>alter to building & ↑ fit-out</u></p> <p>Intended life:</p> <p><input checked="" type="checkbox"/> Indefinite but not less than 50 years</p> <p><input type="checkbox"/> Specified as years</p> <p><input type="checkbox"/> Demolition</p> <p>Being stage of an intended stages.</p> <p>Floor Area: Existing: m²</p> <p>Proposed: m²</p> <p>Estimated value (inclusive of GST): \$ <u>153,000</u> ?</p>

CHRISTCHURCH CITY COUNCIL
 P.I.M. APPLICATION
 Rec'd. 19 MAY 1993
 CIVIC OFFICES
 PROJECT No:

I wish to uplift this consent from: CIVIC OFFICES Service Centre

(Signed by or for and on behalf of the applicant:)

Name (Print): ALAN COWIE

Signature: [Signature] (on behalf of owner)

Position: Owner

Authorised Agent

Date: 19.1.5.1993

PART B: PROJECT DETAILS

(Complete Part B if you have not applied separately for a project information memorandum.)

The project involves the following matters (Cross each applicable box, if any, and attach relevant information in duplicate for a building consent application only and in triplicate for both a building consent and project information memorandum):

- Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- New provisions to be made for vehicular access, including parking.
- Provisions to be made in building over or adjacent to any road or public place.
- New provisions to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- New connections to public utilities.
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise.
- Any cultural heritage significance of the building or building site, including whether it is on a marae.

PART C: PROJECT DETAILS

(Complete Part C in all cases.)

This application is accompanied by (Cross each applicable box, if any, and attach relevant information in duplicate for a building consent application only and in triplicate for both a building consent and project information memorandum):

- The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:—
 - Building certificates
 - Producer statements
 - References to accreditation certificates issued by the Building Industry Authority
 - References to determinations issued by the Building Industry Authority
- Proposed procedures, if any, for inspection during construction. [Refer also to definition of "Plans and Specifications" in Section 2 of the Building Act 1991.]

Association
Consulting
Engineers of
New Zealand

New Zealand
Institute of
Architects

Institution
Professional
Engineers of
New Zealand

P.I.M. No.....
Building Regulation Clause(s).....

PRODUCER STATEMENT - DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: Ronald Grant Wilkinson, Director, Holmes Consulting Group (1990) Limited
(Suitably qualified Design Professionals)

TO: Mr Bruce Miles
(Owner)

IN RESPECT OF: Seismic Strengthening Works
(Description of Building Work)

AT: 200 Manchester Street, Christchurch
(Address)

of LOTS 685 and 687 DP 1911 SO -

Holmes Consulting Group has been engaged by Mr Bruce Miles
(Design Firm) *(Owner/Developer/Contractor)*

to provide structural engineering services in respect of the
(Extent of Engagement)

requirements of Clause(s) B1 Structure of the Building Regulations 1992 for

All Part only as specified

of the building work. The design has been prepared in accordance with B1/VM1
(verification method(s)/acceptable solution(s))

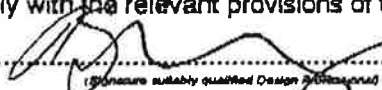
(respectively) of the approved documents issued by the Building Industry Authority and the work is described on
Holmes Consulting Group structural report dated
(Design Firm) ~~14 May 1993~~

~~and the specification~~ and the specification and other documents according to which the
building is proposed to be constructed.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

(i) the verification of the following design assumptions

and (ii) all proprietary products meeting the performance specification requirements, the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.



BE(Hons) MIPENZ, NZCE
(Professional Qualifications)

PO Box 701, Christchurch
(Address)

Date 16 June 1993

ERB/AERB Reg No. 9211

Member ACENZ

IPENZ NZIA

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.



CHRISTCHURCH CITY COUNCIL

QUESTIONS TO BE ANSWERED BY THE OWNER TO ASSIST THE COUNCIL IN ASSESSING INSPECTION REQUIREMENTS

PROJECT NO.: 9306593

Name of Builder: A.M. DUDER

Address: 367 Clyde Rd CHCHS

Contact Telephone No. 3546-484

Is the builder responsible for completing the project and ensuring compliance with the consent drawings and specifications?

Yes

No

If not, give details of construction arrangements:

- Labour only (contracts)
- Owner to arrange subcontractors
- Separate project manager
- Architect and/or engineer controlled

Further details: _____

Give details of any producer statements that will be supplied in support of the construction by either the design consultants or the builder.

A.S. Duder

Owners Name and Signature

A.S. Duder

24 / 05 / 93

Date

Project No.
9306593

PART D: KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known.)

Designer(s): ALAN COWIE DESIGN
PO BOX 22161 CH-CH PH 3797685

Building Certifier(s): _____

Builder(s): To ADVISE A. M. DUDER

Registered Drainlayer: To ADVISE DUDER DRAINAGE

Registered Plumber: To ADVISE BOB FORRER

Registered Gasfitter: To ADVISE CU CU GAS CENTRA

Registered electrician: To ADVISE

Other: _____

CHRISTCHURCH CITY COUNCIL
P.I.M. APPLICATION
Rec'd 19 MAY 1993
Civic Offices
PROJECT No.....

9306593



PART E : COMPLIANCE SCHEDULE DETAILS

E1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, where the building contains or will contain any of the special services as listed below)

The building will contain the following *(Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):*

- Automatic sprinkler systems or other systems of automatic fire protection.
- Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- Emergency warning systems for fire or other dangers.
- Emergency lighting systems.
- Escape route pressurisation systems.
- Riser mains for fire service use.
- Any automatic back-flow preventer connected to a potable water supply.
- Lifts, escalators, or travelators or other similar systems.
- Mechanical ventilation or air conditioning system serving all or a major part of the building.
- Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- Building maintenance units for providing access to the exterior and interior walls of buildings.
- Such signs as are required by the building code in respect of the above mentioned systems.
- None of the above.

E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1.)

The building will contain the following *(Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):*

- Means of escape from fire.
- Safety barriers.
- Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand held hoses for fire fighting.
- Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975.

NB: In addition to the details required elsewhere on this form, every application for a building consent must be accompanied by Appendix 2.3 "Questions to be Answered by the Owner", and by Appendix 2.4 "Information to be supplied by the Owner" for major works.

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i></p>	<p align="center">CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 [S.43(3)] CODE COMPLIANCE CERTIFICATE</p>	<p>FORM: BA 10</p>
		<p>PROJECT NO. 93006593</p>

<p align="center">PROJECT</p> <p>New or relocated building <input type="checkbox"/> N</p> <p>Alteration <input checked="" type="checkbox"/> X</p> <p>Intended use(s): STRUCTURAL ALTERAT. & GROUND FLOOR FI- TOUT</p> <p>Intended life: Indefinite but not less than 50 years <input checked="" type="checkbox"/> X Specified as _____ years</p> <p>Demolition <input type="checkbox"/></p>	<p align="center">PROJECT LOCATION</p> <p>Street address: 200 MANCHESTER STREET HAGLEY</p> <p>Legal Description: Valuation Roll: 2270021600 Dp No 1911 Lot No 7</p> <p align="center">COUNCIL CHARGES</p> <p>The Council's outstanding charges payable on the uplifting of the code compliance certificate, in accordance with the attached details are:</p> <p align="right">\$0.00</p> <p>Receipt No:</p>
--	---

This is

- A final code compliance certificate issued in respect of all the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No. 93006593 " (being this certificate).

Signed for and on behalf of the Council:

Name: *R. Wolfe*

Position: Date: 5 June 1996

HOLMES CONSULTING GROUP
STRUCTURAL AND CIVIL ENGINEERS

STRUCTURAL REPORT

200 MANCHESTER STREET

CONTENTS

- 1.0 Introduction**
- 2.0 Summary and Recommendations**
- 3.0 Structural Form and Condition**
- 4.0 Seismic Assessment**
- 5.0 Miscellaneous Structural Items**
- 6.0 Continued Holmes Consulting Group Involvement**
- Appendix A Proposed Strengthening Details**
- Appendix B Derivation of Seismic Load Level**

Job No: 2535

Date: May 1993

Prepared for: Client - Mr Bruce Miles

"This report has been prepared solely for the benefit of Mr Bruce Miles and the Christchurch City Council. No liability is accepted by this firm or by any principal, or director, or any servant or agent of this firm, in respect of its use by any other person. Any other person who relies upon any matter contained in this report without consultation with and agreement by Holmes Consulting Group (1990) Limited as to its applicability to that persons, does so entirely at their own risk.

This disclaimer shall apply notwithstanding that the report may be made available to any person other than the above client and territorial authority in connection with any application for permission or approval, or pursuant to any requirement of law."

Holmes Consulting Group(1990) Ltd
3 rd Floor 61 Cambridge Terrace
PO Box 701 Christchurch New Zealand

Telephone :(3) 366 - 3366
Facsimile :(3) 379 - 2169

Offices in Wellington New Plymouth Christchurch Auckland Sydney

1.0 INTRODUCTION

The following is a seismic assessment on the property at 200 Manchester Street, which is on the south east corner of the Manchester/Gloucester Street intersection. This report has been commissioned to support a building consent application to perform other work to the building and the associated change of use of the ground floor.

The building in question forms part lots 685 and 687 of DP 1911. The current owner also owns part 683 DP 1911 which adjoins the building in question; shares a common party wall to part 685 but is of recent construction and hence for the purposes of this report is assumed to be self supporting.

The building in question is currently vacant. The ground floor of both parts 685 and 687 was previously a furniture showroom. The first floor of part 687 is also vacant and was previously used as office space.

It is intended to open a restaurant at the new ground floor with associated kitchen, toilet facilities etc. Development of the first floor area has still to be determined but may be utilised as office or residential accommodation at some future date.

2.0 SUMMARY AND RECOMMENDATIONS

With this building being made up of two essentially square sections, regular in form and in reasonable condition for its age, there exists sufficient inherent strength in the primary brickwalls to support the in plane seismic design loads as determined.

The exception to this is the Manchester Street frontage wall which because of large window openings will be strengthened by the installation of a reinforced concrete frame around the central opening.

The timber first floor in the front half of the building has a real weakness in diaphragm capacity and this will be remedied by a layer of plywood being nailed to the underside of the floor joists. This floor diaphragm will be bolted to the perimeter brickwalls with drilled and epoxied fixings.

Both roof diaphragms are also well under strength for the quite high imposed strengthening loads. These will be strengthened by the installation of a steel truss system to transfer roof and wall face loads to the side in-plane walls. This steelwork will be bolted to the underside of the timber roof trusses and epoxy bolted to the perimeter brickwalls.

The two gable walls will be tied into the roof plane by cleats bolted to the purlins up the raking line of the two roofs.

As part of the structural work contract several other non-seismic strengthening items will also be carried out.

An existing, non-load bearing mezzanine office to the north of the two storey ground floor area will be removed.

A fire-rated non-load bearing intertenancy wall will be erected at the eastern end of the ground floor. The ~~first~~^{ground} floor ceiling will also be fire-rated over the plywood diaphragm by application of a layer of Fyrelite gibraltar board.

General maintenance work may be required as the contract proceeds but requirements for this would appear minimal. At present this work is out of the scope of our brief and will be handled on an as required basis.

3.0 STRUCTURAL FORM AND CONDITION

The building under review is made up of two square sections with continuous brickwalls forming their north and south walls. The western half measures approximately 20.5m x 20.5m; is two storey, with a timber first floor and light weight, iron clad and timber sarked roof. The eastern half also measures approximately 20.5m x 20.5m but is only single storey with a light weight, iron clad and unsarked roof.

Walls for both the single and two storey sections are constructed from 380mm thick red brick construction with plaster either side to give an overall thickness of 400mm. The larger openings in these walls have been trimmed with reinforced concrete jamb and head members.

The single storey area has a concrete ground floor whereas the two storey area has a timber ground floor possibly over an original concrete slab.

The first floor is constructed from tongue and groove flooring on 350 x 50 floor joists at 450mm centres. These joists span approximately 6.4 metres in a north/south direction over three bays. Two reinforced concrete portal frames run west/east across the two storey section to form these three bays.

A central column in the middle of the ground floor forms part of these frames. These frames could contribute to the seismic capacity of the building but have been neglected for the purposes of this strengthening design.

The first floor ceiling is currently lined with hard-board.

The single storey section roof is corrugated iron over timber purlins on bolted timber trusses spanning north/south at approximately 4 metre centres. A light weight suspended ceiling is in this area.

The two storey section roof is again corrugated iron but on timber sarking on purlins on bolted timber trusses. The trusses again span north/south but are at 3.2 metre centres and there is a hipped section of roof falling to a low height parapet along the Manchester Street wall.

Both roofs have pitches of approximately 20 degrees with a central apex and internal gutters.

Timber trusses are currently supported by their bottom chords seating in the brick walls.

Access to the first floor is by way of a concrete stair accessed from outside the south wall of the building.

The overall condition of the building is very good.

The masonry condition is good with no major cracking evident and no signs of foundation distress or settlement visible. The condition of door and window lintels where visible appears satisfactory.

The first floor timber construction appears sound and the condition of fixings seatings etc will be verified when the ceiling lining is removed to permit a more thorough investigation.

The two concrete portal frames supported the first floor are also in good condition. These appear to have replaced original internal red brick walls along these two lines.

The roof also appears sound. Timber trusses and purlins are in good condition and no rot or decay is visible at the truss ends where they seat in the walls. Again this will be verified when work commences and greater visibility is possible.

Roofing iron, gutters, flashings and downpipes appear to be in reasonable condition.

A closer inspection of these will be carried out during the course of the construction as a maintenance concern.

4.0 SEISMIC ASSESSMENT

The building has been assessed to be strengthened to a design load level of 67% of full code loading. This is in accordance with the Earthquake Risk Buildings Red Book (December 1985) for an occupancy classification 2 building.

This occupancy classification gives rise to a seismic design coefficient for strengthening requirements of $Cd_E = 0.42$ for the unreinforced masonry walls. Refer to Appendix B for derivation of the occupancy classification and the seismic design coefficient.

The capacity of the primary load supporting elements, ie. the perimeter walls and the central two storey wall between the two sections, to resist in plane forces is adequate for the load demand required above. The exception to this is the wall forming the Manchester Street frontage at ground floor level. Due to large glazed shop front openings, this wall has a significant short fall in load carrying capacity. To compensate for this a reinforced concrete portal is to be installed around the perimeter of the central opening. Details are provided in Appendix A.

The first floor diaphragm at present is well under capacity. The required diaphragm capacity will be attained by a layer of 9mm plywood nailed to the underside of the floor joists. Refer to Appendix A for details. Over top of this plywood one layer of 16mm Fyreline is to be fixed to give the first floor ceiling the required one hour fire rating. (Refer also to section 5.0).

The first floor timber diaphragm has been designed to a lower load level corresponding to a SM value of 2.4 for timber strengthening systems in accordance with Table 5A of the Red Book.

The perimeter of this first floor diaphragm is to be tied to the surrounding brickwalls by way of drilled and epoxied ties to the floor joists to transfer tension loads from the face loaded walls into the diaphragm and shearloads out of the diaphragm into the stronger in-plane walls. Refer to Appendix A for details.

Both roof planes (single storey and two storey section roofs) require considerable bracing and connections to the perimeter walls.

This is to be achieved by way of steel trusses fixed to the underside of the bottom chord of the timber roof trusses. Steel trusses are bolted through these bottom chords and epoxy bolt fixed into the surrounding walls. By way of this steelwork, loads from the face loaded walls and the roof itself are transferred to the load resisting in-plane walls. Details of the roof bracing are in Appendix A.

The two gable walls are fixed into the roofing plane by way of drilled and epoxied bolt connections to either the roof purlins or the top chord of the timber trusses. Again details of this are found in Appendix A.

No major seismic hazards, ie. chimneys or external ornamentations exist on this building. Parapet heights are low enough so as not to constitute a hazard under face loading.

5.0 MISCELLANEOUS STRUCTURAL ITEMS

Several other items are intended to be carried out as part of the structural work contract as opposed to the restaurant fitout contract.

At present at ground floor, against the north wall of the two storey section there exists a mezzanine office area which extends up to ceiling level. This is non-load bearing and is to be removed. This will simplify the ceiling diaphragm and fire-rating work. It is understood the new restaurant kitchen is to go in this area.

The first floor ceiling requires a one hour fire-rating to separate the ground floor restaurant from the upstairs space. This will be achieved by fixing a single layer of 16mm Fyreline gib-board to the underside of the plywood diaphragm. Refer also to the fire plan prepared by Alan Cowie Design for overall fire rating requirements of the ground floor for the proposed fit-out.

Finally a non-load bearing fire-rated intertenancy wall is to be erected near the eastern end of the single storey section. This will be 8 metres from the eastern wall giving a new ground floor space of 32 metres x 20 metres. A one hour fire-rating will be achieved by one layer of 12.5mm fyreline gib-board each side of a 150 x 50 timber framed wall. Linings will extend through the ceiling plane up the sides of a timber roof truss to the underside of the iron roof cladding.

6.0 CONTINUED HOLMES CONSULTING GROUP INVOLVEMENT

As noted earlier this report will form part of a building consent application to carry out other work to this building.

It is intended that Holmes Consulting Group will prepare supplementary construction details and specification notes during the construction phase after sections of the building have been "opened up". Details of connections etc. in Appendix A are all subject to verification or minor change to suit the "as built" condition of this building. Construction monitoring of the seismic strengthening elements will be required to ensure adequate compliance with the recommendations in this report and all Building Consent requirements.

APPENDIX A

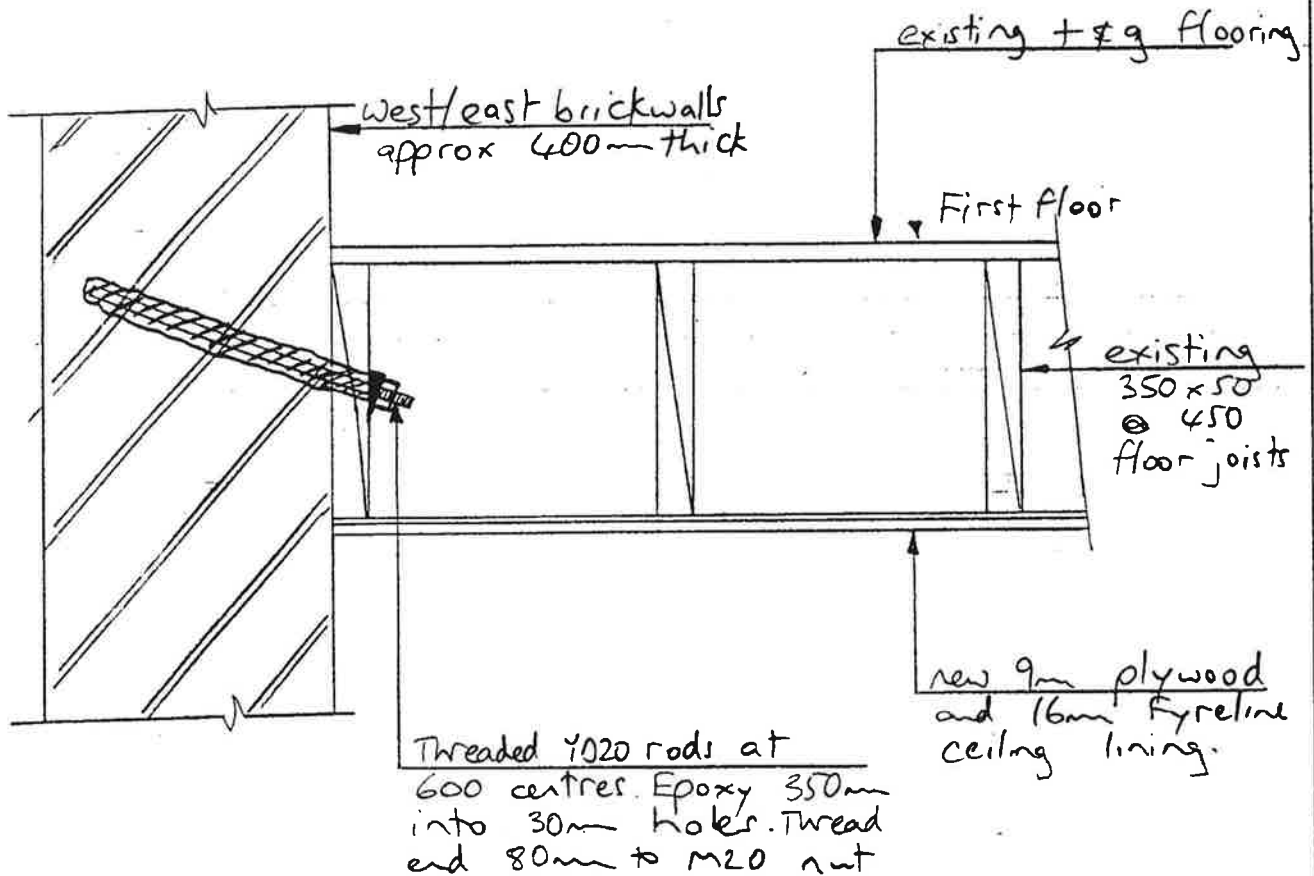
PROPOSED STRENGTHENING

DETAILS

HOLMES CONSULTING GROUP
 STRUCTURAL AND CIVIL ENGINEERS
 Offices in Christchurch, Wellington, New Plymouth, Auckland.

JOB TITLE 200 Manchester St
 JOB No 2535

SKETCH No 1.
 DATE 4/5/93



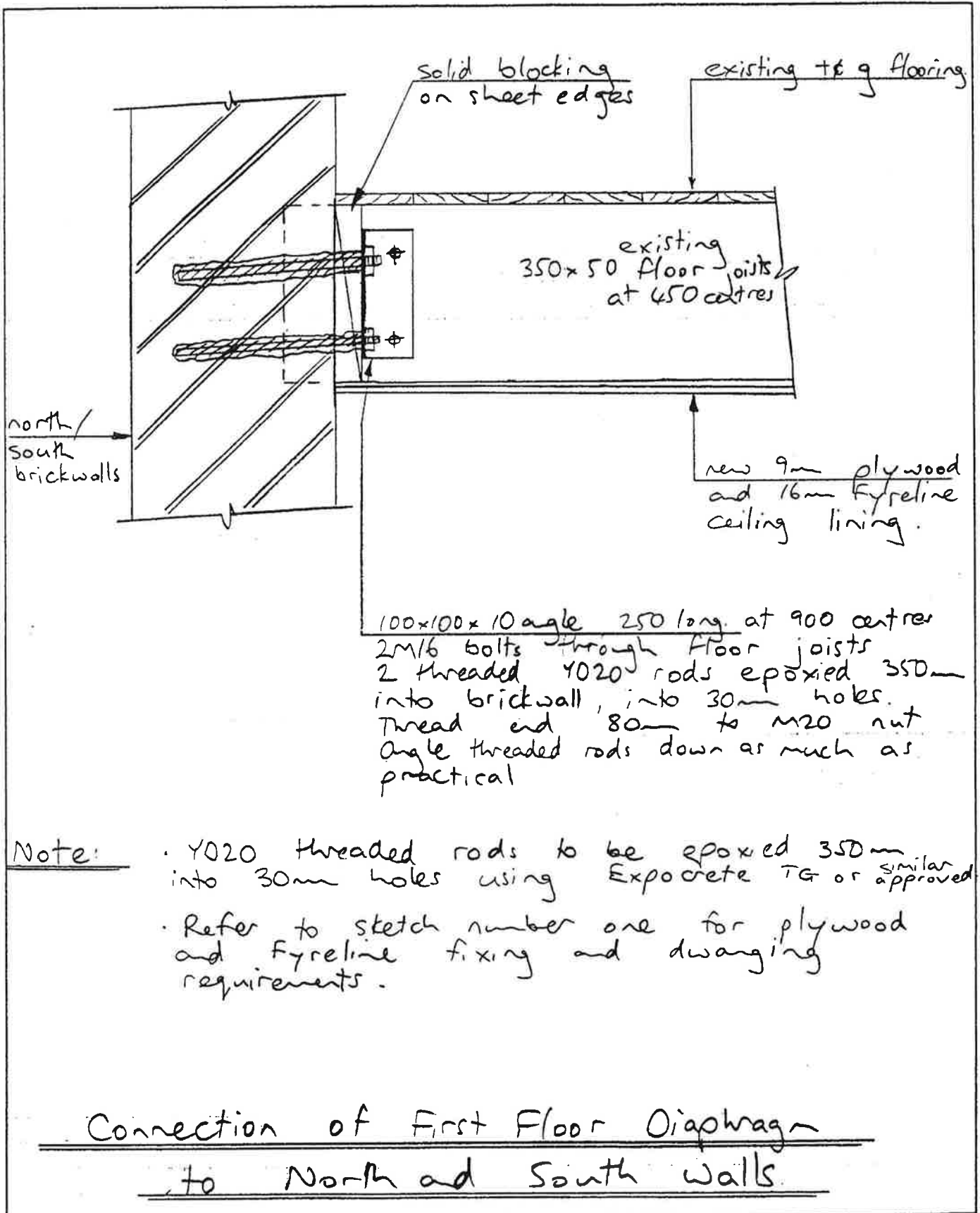
- Note:
- Y020 threaded rods to be epoxied 350mm into 30mm holes using Expocrete TG or similar approved.
 - Nail 9m plywood to floor joists with 50 x 3.55mm nails at 100mm centres around sheet edges and at 300mm centres on all intermediate members.
 - Dwg floor joists on all sheet edges and at 600mm centres between joists. Use 100 x 50 on Flat
 - 16mm Fyreline shall be staggered in comparison to plywood sheet edges. Fyreline to be fixed in strict accordance with Winstone recommendations

Connection of First Floor Diaphragm
to West and East Walls

HOLMES CONSULTING GROUP
 STRUCTURAL AND CIVIL ENGINEERS
 Offices in Christchurch, Wellington, New Plymouth, Auckland.

JOB TITLE 200 Manchester St.
 JOB No 2535

SKETCH No 2
 DATE 4/5/93

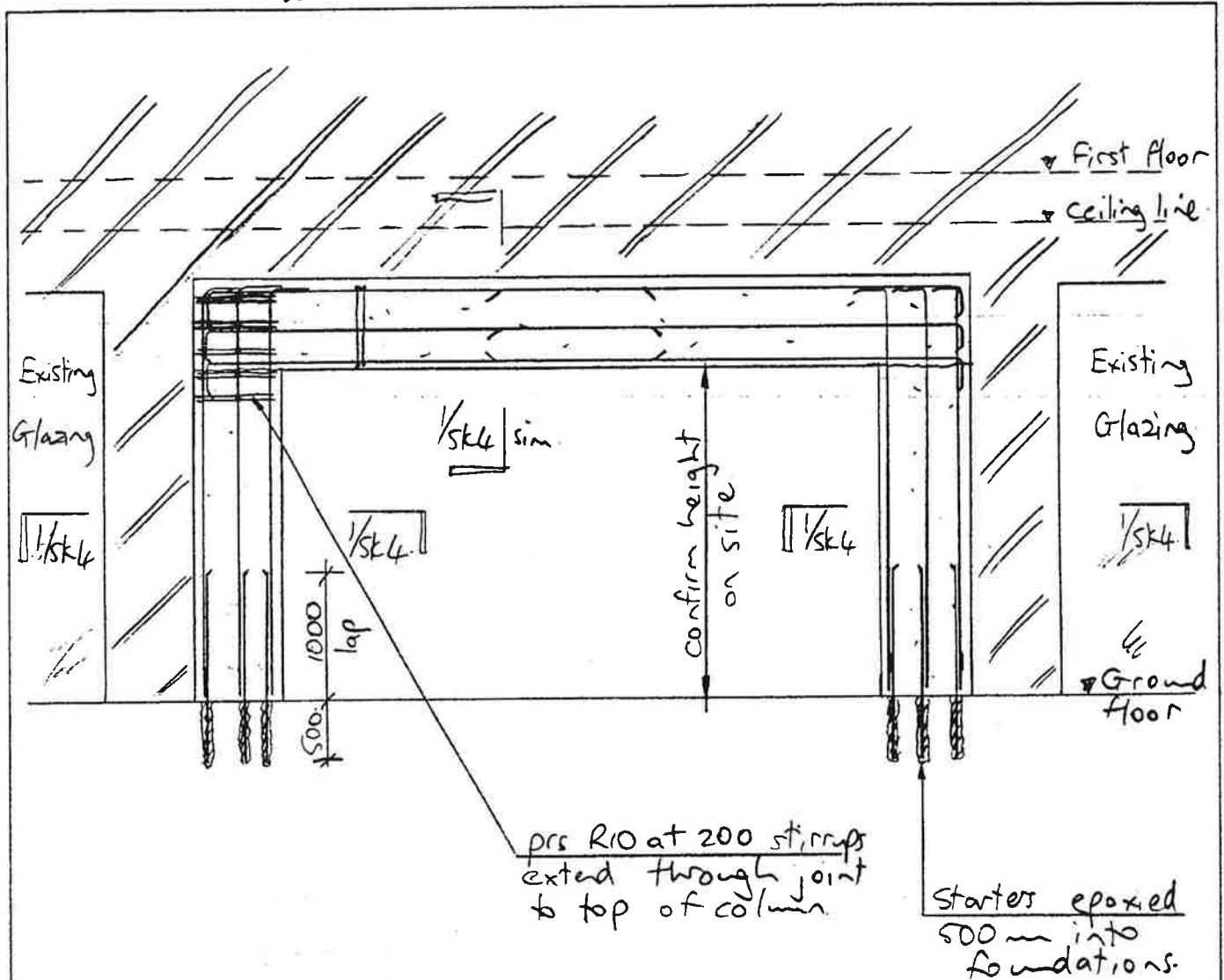


HOLMES CONSULTING GROUP

STRUCTURAL AND CIVIL ENGINEERS
Offices in Christchurch, Wellington, New Plymouth, Auckland.

JOB TITLE 200 Manchester St.
JOB No 2535

SKETCH No 3
DATE 4/5/93



Note: - horizontal bars in top beam element may be lapped 1400mm to facilitate easy installation if required at midspan.

- Construction joint at underside of top beam element required.

Scale 1:50

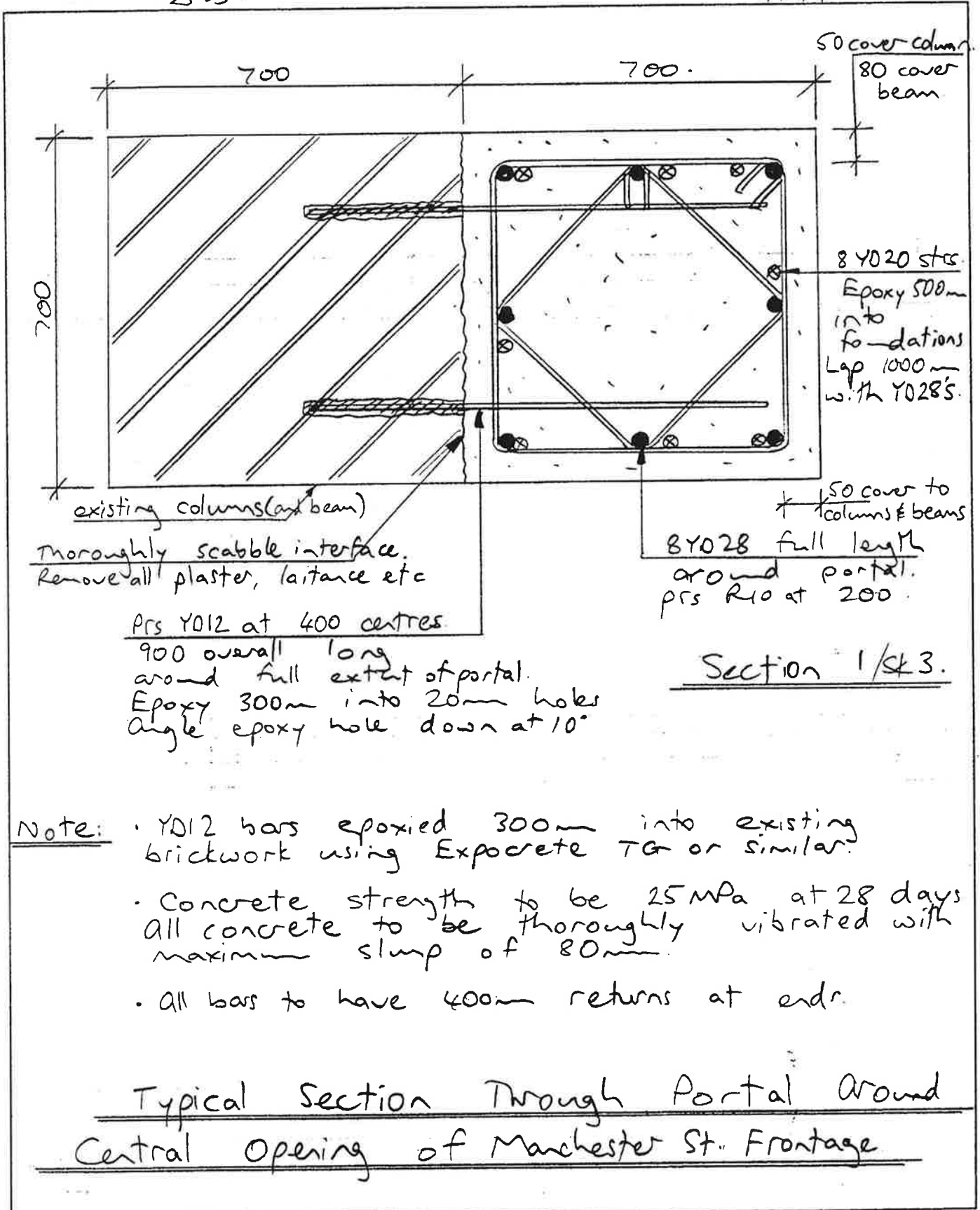
Elevation of New Concrete Portal

Required around Central Opening in West wall.

HOLMES CONSULTING GROUP
 STRUCTURAL AND CIVIL ENGINEERS
 Offices in Christchurch, Wellington, New Plymouth, Auckland.

JOB TITLE 200 Manchester St
 JOB No 2535

SKETCH No 4.
 DATE 4/5/93.



CALCULATIONS

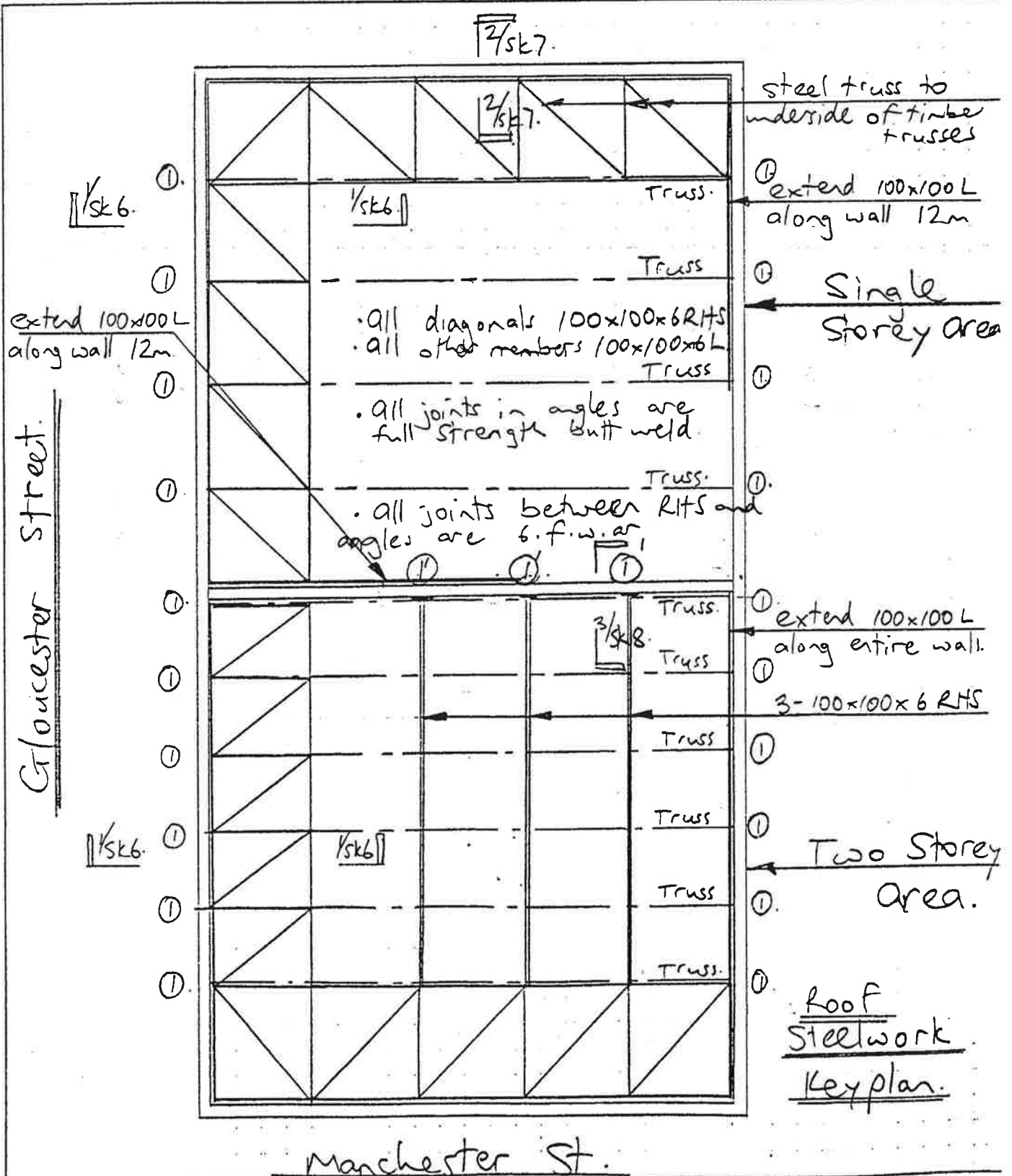
Sketch # 5.

JOB NAME 200 manchester st.

JOB NO. 2535.

CALCS BY C.B. Lewis.

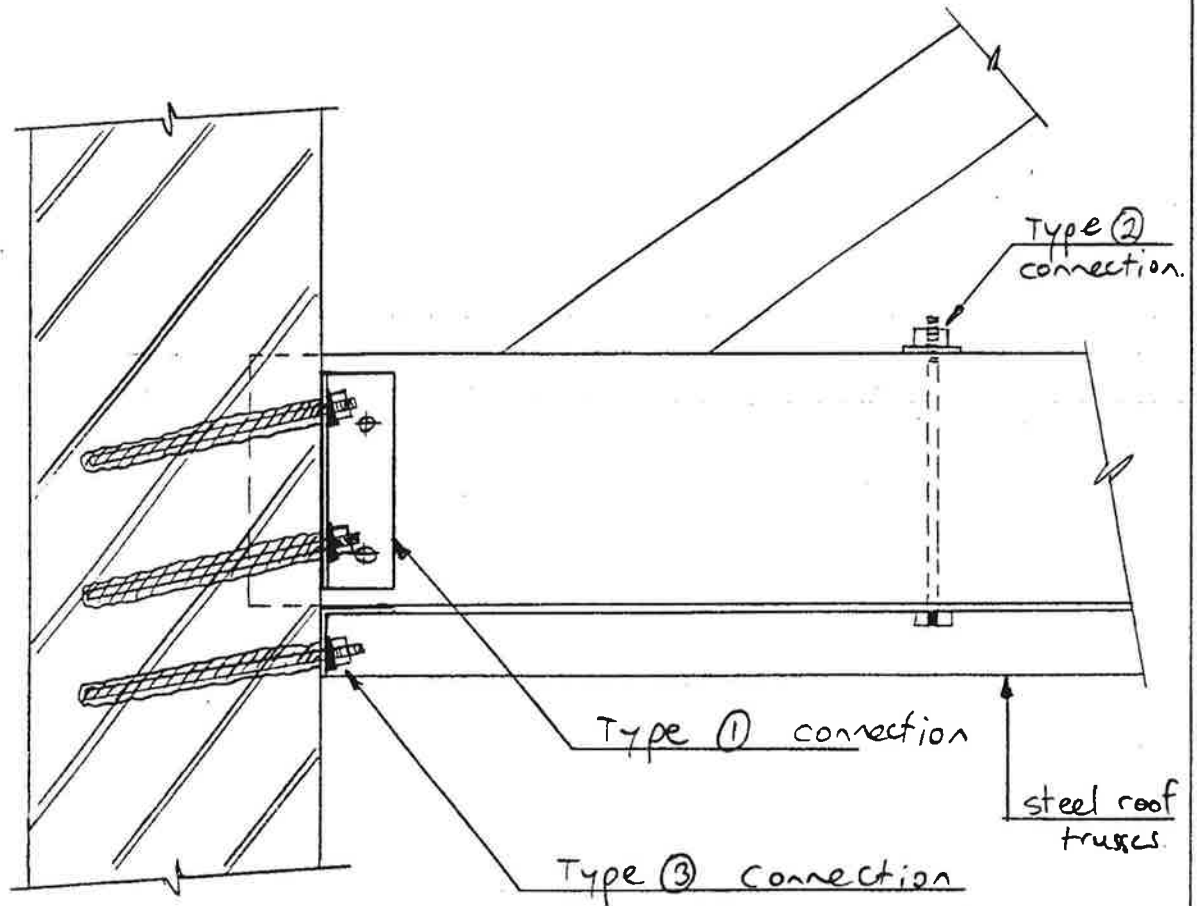
DATE: 3/5/93.



HOLMES CONSULTING GROUP
 STRUCTURAL AND CIVIL ENGINEERS
 Offices in Christchurch, Wellington, New Plymouth, Auckland.

JOB TITLE 200 Manchester St
 JOB No 2535.

SKETCH No 6
 DATE 5/5/93.



Type 1 connection: reqd at every truss end connection to brickwalls
 - 100x100x10 angle, 2M16 bolts to truss bottom chord, 2 Y020 dowels epoxied into wall.

Type 2 connection: M20 bolts through bottom truss chord at 900 centres wherever steel trusses intersect with trusses.

Type 3 connection: Y020 dowels epoxied into brickwalls at 900 centres around entire perimeter of steel trusses, except at short ends of trusses where at 350 centres. Also along extended 100x100x6 L ties.

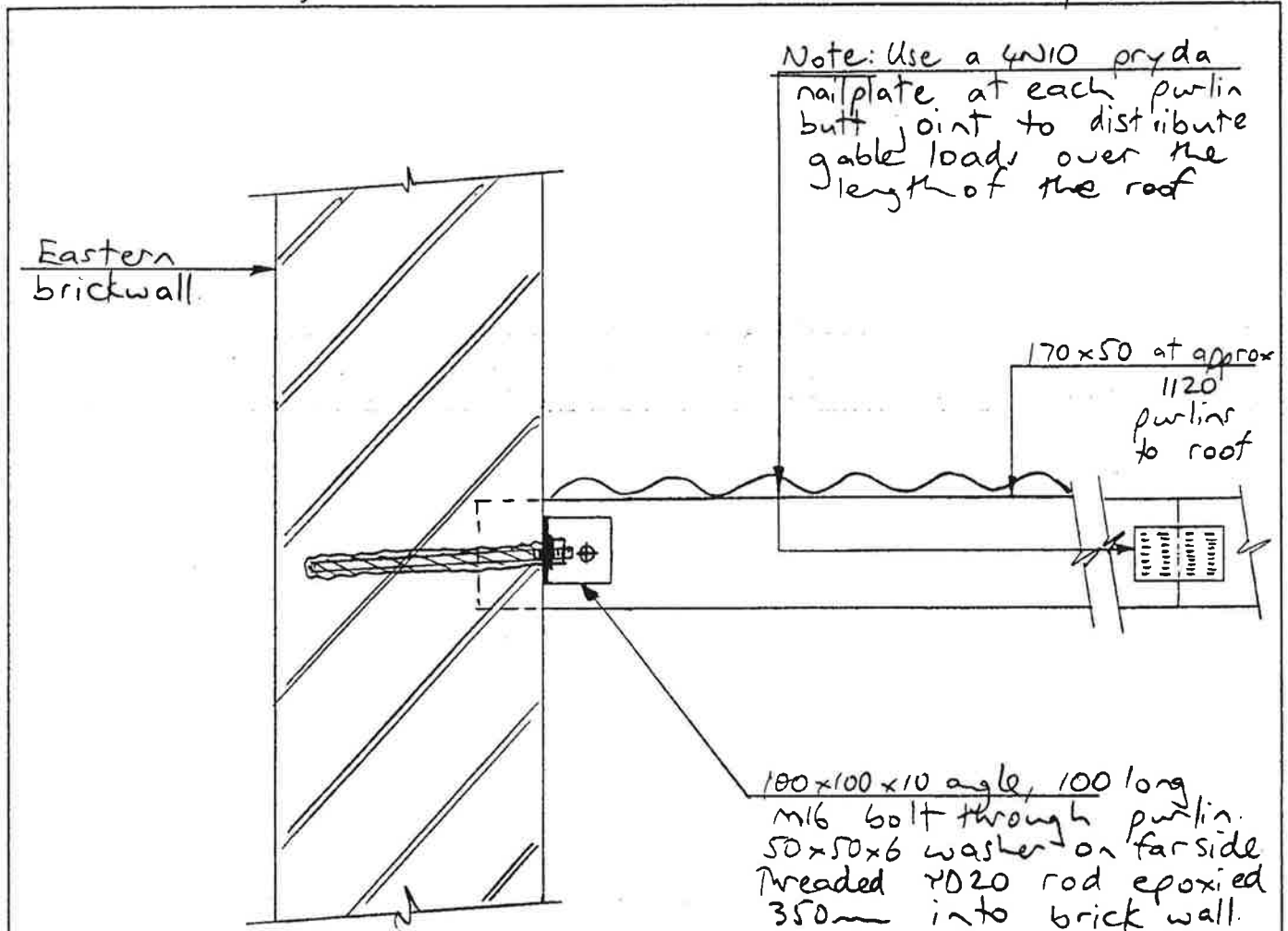
Section 1/sk5

Roof Bracing Connection Details

HOLMES CONSULTING GROUP
 STRUCTURAL AND CIVIL ENGINEERS
 Offices in Christchurch, Wellington, New Plymouth, Auckland.

JOB TITLE 200 Manchester St
 JOB No 2535

SKETCH No 7
 DATE 12/5/93



- Note: - Rods epoxied 350mm into 30mm holes in brick
 Use Expocrete TG or similar approved.
- Above connection to be used at every location where roof purlins seat in eastern brickwall.

Section 2/sk 5

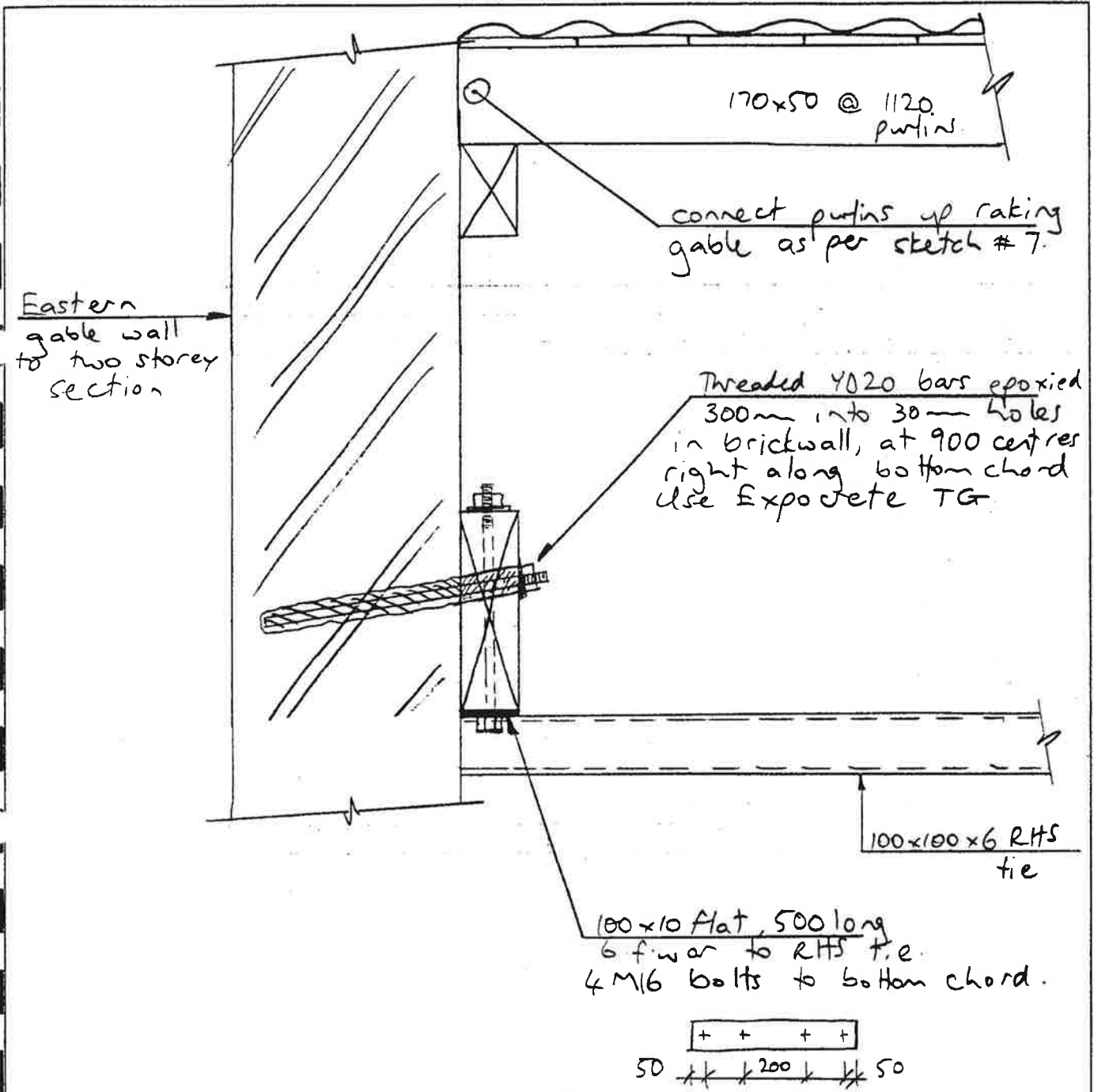
(Scale 1:10)

Connection of Roof Purlins to Eastern
 Brickwall over Single Storey Area.

HOLMES CONSULTING GROUP
STRUCTURAL AND CIVIL ENGINEERS
Offices in Christchurch, Wellington, New Plymouth, Auckland.

JOB TITLE 200 Manchester St
JOB No 2535

SKETCH No 8
DATE 12/5/93



Section 3/Sk 5

(Scale 1:10)

Connection of Roof Framing to Eastern Gable wall of two storey section.

APPENDIX B

DERIVATION OF SEISMIC LOAD

LEVEL FOR EXISTING

BUILDINGS

(i) OCCUPANCY CLASSIFICATION

Gross floor area (ground)	=	640m ² (Up to new intertenancy wall)
Gross floor area (first floor)	=	400m ²
Occupant Load, O _L (ground)	=	70 during the normal functioning of the building (average)
Occupant Load, O _L (first floor)	=	15, assuming development of apartments, say six apartments average 2.5 people per apartment.
Weekly hours of normal occupancy (ground)	=	46 hours (six hours, six nights a week plus two hours, five lunchtimes a week).
Weekly hours of normal occupancy (first floor)	=	17 hours per day ⇒ 120 hours per week.

Therefore,

$$\begin{aligned} \text{Occupancy Intensity, } O_I \text{ (ground)} &= \frac{70}{6.4} \times \frac{46}{40} = 12.58 \\ \text{Occupant Intensity, } O_I \text{ (first floor)} &= \frac{15}{4.0} \times \frac{120}{40} = 11.25 \end{aligned}$$

Giving, Occupancy Classification of 2 for Ground and Occupancy Classification of 3 for First Floor.

Conclusion

Strengthen entire building to an occupancy classification of 2.

(ii) **SEISMIC DESIGN COEFFICIENT**

Seismic Design Coefficient,

$$Cd_E = C \times R \times (SM)_E \times R_E$$

where C	=	0.125	for Zone B flexible subsoils.
R	=	1.0	for normal occupancy
R _E	=	0.67	for occupancy classification 2
(SM) _E	=	5.0	for unreinforced masonry walls.
	=	2.4	for timber diaphragm with elastic response (Table 5B : NZS4203:1984)
	=	1.6	for reinforced concrete frame of limited ductility.
⇒ Cd _E	=	0.08375 x (SM) _E	
Cd _E	=	0.42	for masonry walls
Cd _E	=	0.201	for first floor diaphragm
Cd _E	=	0.134	for reinforced concrete frame

BU/40/79/200^F

CHRISTCHURCH CITY COUNCIL

FILE COPY

6 May 1993

Holmes Consulting Group
PO Box 701
CHRISTCHURCH

Att: Craig Lewis

Dear Sir

**PROPOSED STRENGTHENING
OF 200 MANCHESTER STREET**

Thank you for your letter of 4 May 1993. We confirm that in principle your proposed strengthening level of 0.42g will satisfy the structural upgrading requirements of Section 46 of the Building Act.

Details of the strengthening will be reviewed with a consent application.

Yours faithfully

J M Henry
BUILDING CONTROL ENGINEER

JH:JMB



CONTACT John Henry Ph (03) 371-1675 FILE BU/40/79/200
CIVIC OFFICES • 163-173 TUAM STREET • PO BOX 237 • CHRISTCHURCH 1
NEW ZEALAND • TELEPHONE (03) 379-1660 • FAX (03) 379-7786

HOLMES CONSULTING GROUP

STRUCTURAL AND CIVIL ENGINEERS



File No.: 2535

4 May 1993

Building Consent Team
Christchurch City Council
Level 2 - Carucca House
PO Box 237
CHRISTCHURCH

Attention: John Henry

9306+41				INT'L	DATE
MR. SMITH	ACTION REPORT				
MR.					
MR.					
MR.					
MR.					
MR.					
REPLY	SENT	MIL	TO FOLLOW		
FILE No	JH/40/79/200				

Dear John

STRENGTHENING WORKS TO 200 MANCHESTER STREET, CHRISTCHURCH

Confirming our discussions with you at your offices on 4 May 1993.

The building in question is at 200 Manchester Street and comprises part lots 685 and 687 of DP1911. It was previously a furniture showroom (Direct Furniture) and the new tenant proposes to install a restaurant at ground floor - a change of use.

We intend to strengthen the building to a load level of 67% of full code loading based on an occupancy classification of 2.

This occupancy classification is based on the following:

- (i) Ground floor area of 640 m².
- (ii) Ground floor occupied for 46 hours a week. (Six hours a night for six days a week and two hours a day for five lunchtimes a week).
- (iii) Occupant load of 70 persons average over the weekly hours of normal occupancy.

$$\text{Therefore occupancy intensity, } O_I = \frac{70}{6.4} \times \frac{46}{40} = 12.58$$

Thus giving an occupancy classification of 2 from the Red Book, December 1985.

We believe that our assessment of average occupancy load coupled with the weekly hours of normal occupancy for these premises is conservative.

RECEIVED

- 5 MAY 1993

Holmes Consulting Group (1990) Ltd
Level 3 AEQ Building 61 Cambridge Terrace
PO Box 701 Christchurch New Zealand

Public Health & Safety Unit
Telephone: (03) 366-3366
Facsimile: (03) 379-2169

Offices in Wellington New Plymouth Christchurch Auckland Sydney

Holmes Consulting Group - Page 2

The seismic design coefficient, Cd_E for our strengthening design follows thus:

$$Cd_E = C \times R \times (SM)_E \times R_E$$

Where $C = 0.125$
 $R = 1.0$
 $(SM)_E = 5.0$, for unreinforced masonry walls.
 $R_E = 0.67$, OC2.

Giving $Cd_E = 0.42$

We trust this confirms our earlier discussion and meets with the Council's approval. Could you please confirm this in writing to us for passing on to our client.

A full structural report on the strengthening works will follow as part of the documentation for the building consent application for the alterations.

Yours sincerely



Craig B Lewis
HOLMES CONSULTING GROUP LTD
Christchurch Office

FILE: D:\JOB\2535\WP\04050426 LET



CHRISTCHURCH CITY COUNCIL

18 November 1993

Alan Cowie
PO Box 22-161
CHRISTCHURCH

FILE COPY

Dear Sir

CODE COMPLIANCE CERTIFICATE – PROJECT NO 93006593

Address: 200 Manchester Street

This notice serves to advise that the Council is able to issue a code compliance certificate in respect of all of the building work under the above building consent.

The Code Compliance Certificate can be uplifted from Carruca House, 2nd Floor, Cathedral Square, on payment of the undermentioned outstanding fees.

To outstanding PIM fees	:	\$ _____	RC27
To outstanding consent.....	:	\$ _____	RC23
To rectification inspections	:	\$ 135.00	RC28
To prepare/issue code compliance certificate	:	\$ _____	RC25
To the issue of a compliance schedule and building statement of fitness (if applicable):	:	\$ _____	RC30
Total fees outstanding	:	\$ <u>135.00</u>	

Please quote the above Project number in all communication with the Council.

OFFICE USE ONLY	
Receipt No:	_____
Date:	_____
File: BU/40	_____


Signed

PLEASE FORWARD RECEIPTED FORM TO:

PRINCIPAL BUILDING CONTROL OFFICER
PUBLIC HEALTH AND SAFETY UNIT

cc. not sent
Date of Issue: July '93 out

*outstanding fee
Don't know when paid*

File Copy only

INSPECTION SUMMARY SHEET : MINOR WORKS
[POST CONSENT]

PROJECT NO. 93006593 DATE: 4/11/93
 DESCRIPTION OF CONSENT: Bar & Restaurant
 SITE ADDRESS: 200 Manchester St.
 NAME OF OWNER/OWNER'S AGENT: _____
 OWNER'S ADDRESS: _____

MANDATORY NOTICE INSPECTIONS	DATE OF INSPECTION						TOTAL
	1	2	3	4	5	6	
M1 Excavation/Foundation/Reinforcing							
M2 Slab on Grade/DPC							
M3 Frame Construction Sub Floor							
M4 Pre-lining	<u>2/9</u>	2/8					
MC/Bracing/Fixing	2/9						
Plumbing							
M5 Nailing of Sheet bracing							
M6 Drains - Foulwater	<u>2/8</u>	"					
M7 Drains - Stormwater							
M8 Final, pursuant to S43, Form 9	<u>2/10</u>						
							<u>3</u>
SUPPLEMENTARY INSPECTIONS							
S1 Concrete Construction							
S2 Blockwork Construction							
S3 Steel Construction							
S4 Timber Construction							
S5 Exterior claddings and joinery							
S6 Interior finishes, fittings and joinery							
S7 Siteworks							
Subtotal:							
RECTIFICATION INSPECTIONS							
<u>M4</u>	<u>2/9</u>	<u>17/8</u>	<u>12/8</u>				
Subtotal:							<u>3</u>

INSPECTION COSTS:

• Mandatory Notice Inspections	<u>3</u> x \$	= \$	<u>135</u>
• Supplementary Inspections	_____ x \$	= \$	_____
• Rectification Inspections	<u>3</u> x \$	= \$	<u>135</u>
Total Cost of Inspections		\$	_____
• Less Pre-paid Inspections		\$	<u>270</u>
• AMOUNT OWING		\$	<u>\$ 135 to pay</u>
Distribution: Property File	: (1)		
Computer Enter	: (1)		

ESTIMATE OF CONSTRUCTION INSPECTIONS : MINOR WORKS

PROJECT NO. **9306593** **DATE:** 18/6/93
DESCRIPTION OF CONSENT: Bar and Restaurant
SITE ADDRESS: 200 Manchester Street
OWNER'S NAME: C/- Alan Cowie
OWNER'S ADDRESS: PO Box 22161

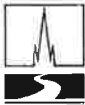
The following mandatory inspections will be carried out by the Council for which one day notice shall be given as required by Regulation 7(1) (b) (i-v).

MANDATORY NOTICE INSPECTIONS	No.	Cost	Total	Comments
M1 Excavation/Foundation			45.00	
M2 Reinforcing				
M3 Frame construction	1	45.00		
M4 Pre-lining			45.00	
M5 Nailing of Sheet bracing				
M6 Drains - Foulwater	1	45.00	45.00	
M7 Drains - Stormwater				
M8 Final, pursuant to S43, Form 9	1	45.00	45.00	
There is a minimum of one of these inspections if an adequate producer statement is provided.	Subtotal.....→		\$135.00	

SUPPLEMENTARY INSPECTIONS (Pursuant to S 76 (1) (a) of the Act)	No.	Cost		Comments
S1 Concrete Construction				
S2 Blockwork Construction				
S3 Steel Construction				
S4 Timber Construction				
S5 Exterior claddings and joinery				
S6 Interior finishes, fittings and joinery				
S7 Siteworks Supplementary				

<i>The number of these supplementary inspections is dependent on the nature of the building work and the manner of construction. The Council may require prior notification of work proceeding before covering up or closing in, subject to arrangement with the Building Inspector.</i>	Subtotal.....→	\$
	THESE INSPECTIONS ARE TO BE PRE-PAID	TOTAL.....→

Note: *Inspections which are necessary due to non-complying or incomplete work or that arise as a result of a rectification notice are additional and will be charged at the rate of \$60.00/hour and invoiced separately.*

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i></p>	<p>CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 [S.35]</p> <p>BUILDING CONSENT</p>	<p>FORM: BA4</p>
		<p>PROJECT NO.: 9306593</p>

[Cross each applicable box and attach relevant documents in duplicate.]

<p style="text-align: center;">OWNER</p> <p>Name: GLOMAN HOLDINGS LIMITED</p> <p>Mailing Address: P O BOX 487 CHRISTCHURCH</p> <p>Contact: [Print name and position]: ALAN COWIE P O BOX 22161 CHRISTCHURCH Phone: 379 7685 Fax: Application Received: 19 MAY 1993</p>	<p style="text-align: center;">PROJECT LOCATION</p> <p>Street address: 200 MANCHESTER ST HAGLEY</p> <p>Legal Description: Valuation Roll: 2270021600 Dp No 1911 Lot No 7</p>						
<p style="text-align: center;">COUNCIL CHARGES</p> <p>The Council's total charges payable on the uplifting of this building consent, in accordance with the letter of advice dated 18 Jun 1993 are:</p> <table border="0"> <tr> <td>Total</td> <td style="text-align: right;">\$1,382.50</td> </tr> <tr> <td>Building Research Levy:</td> <td style="text-align: right;">\$172.10</td> </tr> <tr> <td>Grand Total</td> <td style="text-align: right;">\$1,554.60</td> </tr> </table> <p>Receipt No.:</p>	Total	\$1,382.50	Building Research Levy:	\$172.10	Grand Total	\$1,554.60	<p style="text-align: center;">PROJECT</p> <p><input type="checkbox"/> New or relocated building <input checked="" type="checkbox"/> Alteration</p> <p>Intended use(s) (In detail): COMMERCIAL - BAR & RESTAURANT</p> <p>Intended life:</p> <p><input checked="" type="checkbox"/> Indefinite but not less than 50 years <input type="checkbox"/> Specified as _____ years <input type="checkbox"/> Demolition</p> <p>Being stage _____ of an intended _____ stages.</p> <p>Estimated value (inclusive of GST): \$153,000.00</p>
Total	\$1,382.50						
Building Research Levy:	\$172.10						
Grand Total	\$1,554.60						

This Building Consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty (ie: this consent does not relieve the owner of his/her responsibilities under any other Act) or responsibility under any other Act nor permit any breach of any other Act.

This Building Consent is issued subject to the conditions specified in the attached 012 pages headed "Conditions of Project No.: 9306593 "

Signed for and on behalf of the Council:

Name: B. Biddick

B. BIDDICK
Consent Officer Senior

Position: Date: 18 June 1993

2.

The fees associated with the building consent are:

1. To PIM:	Basic Fee	\$ 112.50	
			\$ <u>112.50</u>

FILE

2. To Building Consent:	Application	\$ 20.00	
	Process	\$ 330.00	
	Issue	\$ 20.00	
	Mandatory Notice Inspections	\$ 135.00	
			\$ <u>505.00</u>

3. Construction Related Fees:			
	Reserve Contribution	\$ 765.00	
			\$ <u>765.00</u>

SUBTOTAL \$ 1,382.50

4. Building Research Levy			\$ <u>172.10</u>
---------------------------	--	--	------------------

COPY

TOTAL \$ 1,554.60

Please quote the above Project No. in all communication with the Council.

Signed



for
PUBLIC HEALTH AND SAFETY MANAGER



CHRISTCHURCH CITY COUNCIL

SITE INSPECTION REPORT

4033

Project No.: 9306593
Consent
 Name of Owner/Owners Agent: S. P. Elcock
 Site Address: St. Gloucester / Manchester
 Description of Consent: WT Building for Restaurant

INSPECTION TYPE		
M.G.		

Date	Comments
2/8/93	alter foul-water Drain (within Building line) for New facilities

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:

All work inspected is in accordance with the Building Consent. OK

~~Some work is not satisfactory as detailed above and rectification is required.~~

~~A formal notice to rectify will be issued.~~

SIGNED: [Signature] DATE: 2.8.93

Distribution: Owner/Owners Agent : (1)
 Property File : (1)
 Computer Enter : (1)



CHRISTCHURCH CITY COUNCIL

SITE INSPECTION REPORT

5828

Project No.: _____

Name of Owner/Owners Agent: Tony Dolar

Site Address: 200 Manchester St.

Description of Consent: Restaurant.

INSPECTION TYPE	Preline	MG

Date	Comments
2 Sept	<p>4.05 pm</p> <p>All now OK to Line</p> <p>Timber MC 18-22%</p>

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:	
All work inspected is in accordance with the Building Consent. ✓	
Some work is not satisfactory as detailed above and rectification is required.	
A formal notice to rectify will be issued.	
SIGNED: <u>[Signature]</u>	DATE: <u>2/9/95</u>

- Distribution:
- Owner/Owners Agent : (1)
 - Property File : (1)
 - Computer Enter : (1)

DATE OF ISSUE: 23/11/92



CHRISTCHURCH CITY COUNCIL

SITE INSPECTION REPORT

3094

Project No.: _____
 Name of Owner/Owners Agent: Mongolian Marquee
 Site Address: 200 Manchester St.
 Description of Consent: Restaurant.

INSPECTION TYPE		
	<u>Active</u>	<u>MC</u>

Date	Comments
<u>26-8</u>	<u>Timber MC 26-28%. Must be < 24%</u> <u>Reinspection Required.</u>

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory as detailed above and rectification is required. ✓

A formal notice to rectify will be issued.

SIGNED: [Signature] DATE: 26/8/93

Distribution: Owner/Owners Agent : (1)
 Property File : (1)
 Computer Enter : (1)

DATE OF ISSUE: 23/11/92



CHRISTCHURCH CITY COUNCIL

SITE INSPECTION REPORT

4447

Project No.: _____
 Name of Owner/Owners Agent: 31 Mongolian Marquee
 Site Address: 200 Manchester St
 Description of Consent: Restaurant

INSPECTION TYPE		
	Prelim	MC

Date	Comments
17-8	9.00am Timber MC 17-24% in Kitchen/Dry Goods Area OK to live
	Timber MC 28-30% in Toilet Areas - must be 20% or less Reinspection Reqd.
	Plumbing to toilet areas all OK

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory as detailed above and rectification is required. ✓

A formal notice to rectify will be issued.

SIGNED: [Signature] DATE: 17/8/98

Distribution: Owner/Owners Agent : (1)
 Property File : (1)
 Computer Enter : (1)

DATE OF ISSUE: 23/11/92



CHRISTCHURCH CITY COUNCIL

SITE INSPECTION REPORT

4427

3713141

Project No.: _____

Name of Owner/Owners Agent: Chris Dodder

Site Address: 200 Manchester St.

Description of Consent: Restaurant

INSPECTION TYPE		
	Framing	MC

Date	Comments
12-8	<p>9.30 am</p> <p>All 30% MC or More</p> <p>Must be 24% MC or less</p> <p><u>Reinspection Required.</u></p>

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:

All work inspected is in accordance with the Building Consent.


Some work is not satisfactory as detailed above and rectification is required. ✓

A formal notice to rectify will be issued.

SIGNED: [Signature] DATE: 12/8/95

- Distribution:
- Owner/Owners Agent : (1)
 - Property File : (1)
 - Computer Enter : (1)

2685

 <p>CHRISTCHURCH THE GARDEN CITY <i>the city that shines</i></p>	<p>CHRISTCHURCH CITY COUNCIL</p> <p>SITE INSPECTION REPORT</p>	<p>PROJECT NO.</p>
--	--	---------------------------

Name of Owner/Owners Agent: Tony Duder

Site Address: 200 Manchester Street

Description of Consent: Restaurant + Bar

COMMENTS	INSPECTION TYPE
<p>Emergency Lighting OK</p> <p>" Call Points OK</p> <p>Egress OK</p> <p style="text-align: center; border: 1px solid black; padding: 5px;"> PROJECT COMPLETE SIGNED: <u>CF</u> DATE: <u>10/11/93</u> </p> <p style="text-align: center; font-size: 1.5em;">Final OK.</p>	<p>M8 - Final</p>

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:	
All work inspected is in accordance with the Building Consent. ✓	
Some work is not satisfactory as detailed above and rectification/is required.	
A formal notice to rectify will be issued.	
SIGNED: <u>[Signature]</u>	DATE: <u>21/10/93</u>

ESTIMATE OF CONSTRUCTION INSPECTIONS : MINOR WORKS

PROJECT NO. 9306593 DATE: 17/6/93
 DESCRIPTION OF CONSENT: BAR & RESTAURANT
 SITE ADDRESS: 200 MANCHESTER ST
 OWNER'S NAME: C/O ALAN CORWIE
 OWNER'S ADDRESS: BOX 92161 CHEM.

The following mandatory inspections will be carried out by the Council for which one day notice shall be given as required by Regulation 7(1) (b) (i-v).

MANDATORY NOTICE INSPECTIONS	No.	Cost	Total	Comments
M1 Excavation/Foundation				
M2 Reinforcing				
M3 Frame construction	1	45-		
M4 Pre-lining				
M5 Nailing of Sheet bracing				
M6 Drains - Foulwater	1	45-		
M7 Drains - Stormwater				
M8 Final, pursuant to S43, Form 9	1	45-		
There is a minimum of one of these inspections if an adequate producer statement is provided.			Subtotal.....→	\$ 135-

SUPPLEMENTARY INSPECTIONS (Pursuant to S 76 (1) (a) of the Act)	No.	Cost	Total	Comments
S1 Concrete Construction				
S2 Blockwork Construction				
S3 Steel Construction				
S4 Timber Construction				
S5 Exterior claddings and joinery				
S6 Interior finishes, fittings and joinery				
S7 Siteworks Supplementary				

<i>The number of these supplementary inspections is dependent on the nature of the building work and the manner of construction. The Council may require prior notification of work proceeding before covering up or closing in, subject to arrangement with the Building Inspector.</i>	Subtotal.....→	\$	
	TOTAL.....→	\$ 135-	

THESE INSPECTIONS ARE TO BE PRE-PAID

Note: *Inspections which are necessary due to non-complying or incomplete work or that arise as a result of a rectification notice are additional and will be charged at the rate of \$60.00/hour and invoiced separately.*


PROJECT NUMBER: 9306593

CONSENT TIME RECORD SHEET

To be used by ALL personnel involved in PIM production.

Personnel Involved in Process	Date							Task					
	Day	7	11	16	17					Apply	Inspect	Process	Issue
	Month	6	6	6	6								
Year	93	93	93	93									
R.A. RUSKIN EHD.	15 MINS												
TONY ENRICH?		2 1/2	1/2										
EARL PERRY				1.0	3/4							✓	
L OSMEIS					1/2								

5 1/2

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i></p>	<p>CHRISTCHURCH CITY COUNCIL PROJECT INFORMATION MEMORANDUM SUPPLEMENTARY INFORMATION</p>	<p>PROJECT NO: 9306593</p>
--	--	--

Address: 200 MANCHESTER STREET

Owner: MR A DUDER

Proposal: RESTAURANT

The following matters have been identified in respect of the above Building Project.

(a) **Special features of the land concerned:**

The building is potentially earthquake prone in terms of Section 66 of the Building Act 1991.

(b) **Classifications of land or buildings notified to Council by other statutory organisations:**

N/A

(c) **Details of existing stormwater and waste water utility systems relevant to the design and construction of the proposed building (Drainage Plan attached):**

N/A

(d) **Details of other Authorisations required under any Act other than the Building Act 1991:**

- Development application required if the value of work excluding and demolition exceeds \$100,000.
- Any signs require a separate application.
- Details of off street parking, loading and servicing of the building are required to be submitted for approval. If this cannot be provided a Resource Consent application may be required and/or payment in lieu of parking.
- Compliance and registration of the premises is required pursuant to the Food Hygiene Regulations 1974 and the Health (Registration or Premises) Regulations 1966. An application for registration must be made to the Public Health and Safety Unit, telephone 371-1675.
- Compliance and licensing of the premises pursuant to the Sale of Liquor Act 1989 prior to the sale of liquor.
- Where dangerous goods are stored or used on any premises, the installation must comply in all respects with the requirements of the Dangerous Goods Act and Regulations. This includes all LPG installations.
- No person shall remove asbestos (defined as "restrictive work") without firstly notifying the Department of Labour, telephone 366-5500, and the Canterbury Area Health Board, telephone 379-9480.

This information is correct as at the date of issue, and is deemed to form part of the Project Information Memorandum

P.I.M. APPLICATION CHECK SHEET		PROJECT NO.:
Project: <u>RESTAURANT FIT OUT</u>		9306593
Location: <u>200 MANCHESTER ST</u>		

Checked	Comment (see over)	Officer	Date	Time Input
<input checked="" type="checkbox"/> Hazard Register	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	RLC	25/5	10 mins.
<input checked="" type="checkbox"/> Property File	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	RLC	25/5	
<input type="checkbox"/> Site Inspection	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Planning	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	RAN/20/1	25/5	10 m.
<input type="checkbox"/> Zoning	<i>C/H</i>			
<input type="checkbox"/> Site Area/Shape Factor				
<input type="checkbox"/> Site Coverage/Density				
<input type="checkbox"/> Plot Ratio/Bonuses				
<input type="checkbox"/> Floor space	<i>Internal refit</i>			
<input type="checkbox"/> Site suitability				
<input type="checkbox"/> Setbacks				
<input type="checkbox"/> Recession plane/height				
<input type="checkbox"/> Separation/on site privacy				
<input type="checkbox"/> Outdoor living/service areas				
<input type="checkbox"/> Design and appearance				
<input type="checkbox"/> Landscaping				
<input checked="" type="checkbox"/> Signs				
<input checked="" type="checkbox"/> Others <i>Development</i>				
<input type="checkbox"/> Traffic	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
<input type="checkbox"/> Car parking/garageable spaces	<i>Documentation Req'd.</i>			
<input type="checkbox"/> Vehicle crossings	<i>Detail design required</i>			
<input type="checkbox"/> Access and manoeuvring areas	<i>over requirement</i>			
<input type="checkbox"/> Loading areas				
<input type="checkbox"/> Tree Register				
<input type="checkbox"/> Other				
<input type="checkbox"/> Subdivisions	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Environmental Health Officer	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	BRC	26/5	15 mins
<input checked="" type="checkbox"/> Drainage & Waste Unit	<input type="checkbox"/> Yes <input type="checkbox"/> No			
Request Fax <i>25/5/93</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No	RLC	25/5	10 mins
<input checked="" type="checkbox"/> Other (Specify) <i>Dangerous Jds</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	RW	17/6	10 m

COMPLETE DETAILS ON REAR OF THIS SHEET AS APPROPRIATE

The building is potentially earthquake prone in terms of Section 366 of the Building Act 1991.

Zone Planning:

- ① Development application required if value excluding any demolition is > one \$100,000
- ② Signs - separate application required

Environmental Health

- ① Compliance and registration of the premises is required pursuant to the Food Hygiene Regulations 1974 and the Health (Registration of Premises) Regulations 1966. An application for registration must be made to the Public Health and Safety Unit Ph 3711675
- ② Compliance and licensing of the premises pursuant to ~~the~~ the Sale of Liquor Act 1989 prior to the sale of liquor
- ③ Where dangerous goods are stored or used on any premises, the installation must comply in all respects with the requirements of the Dangerous Goods Act and Regulations. This includes all LPG installations
- ④ No person shall remove asbestos (defined as "restrictive work") without firstly notifying the Department of Labour Ph 366 5500 and the Canterbury Area Health Board, Ph 3799480.

Tells:

- ① Detail of ~~the~~ all sheet piling and temporary haul driveway at the building required.
- ② ID not able to be provided a resource consent may be required even if a crash in line of gallery is proposed.

Dangerous Goods - No openings within 2m of cylinders ~~if~~ Drains) Licence will be required for storage of LPG cylinders

HOLMES CONSULTING GROUP
STRUCTURAL AND CIVIL ENGINEERS**JOB No.** 2535**DATE** 16 June 1993**CONSTRUCTION MONITORING****Project Title** : Seismic Strengthening Works**Project Address** : 200 Manchester Street, Christchurch**Holmes Consulting Group
Construction Monitoring is limited to** : Seismic strengthening work outlined
and detailed in our Structural Report
dated 14 May 1993 prepared for
Mr Bruce Miles.

Holmes Consulting Group (1990) Limited have been engaged to undertake the extent of construction monitoring necessary to ensure that those sections of the works listed above are carried out generally in accordance with the relevant plans and specifications.

A record of each site visit by our firm will be left on site at the completion of that site visit.

Signed


R. Grant Wilkinson

(ACENZ Member)

D:\WINWORD\2535\WP\2535CM.DOC

Holmes Consulting Group(1990) Ltd
3 rd Floor 61 Cambridge Terrace
PO Box 701 Christchurch New Zealand

Telephone :(3) 366 - 3366
Facsimile :(3) 379 - 2169

Offices in Wellington New Plymouth Christchurch Auckland Sydney

HOLMES CONSULTING GROUP
 STRUCTURAL AND CIVIL ENGINEERS
 OFFICES in Christchurch, Wellington, New Plymouth, Auckland and Sydney

FACSIMILE

JOB NO: 2535 No of Pages including this page: 3
 DATE: 16/6/93
 FROM: Craig Lewis COPIES TO:
 TO: Christchurch City Council - Consent Team
 ATTENTION: Tony Enright
 FAX NO: (03) 3711920

This fax comes from Christchurch 379-2169. If any part is not received, please Phone 366-3366.

SUBJECT: Strengthening to 200 Manchester St.

Tony,

Please find enclosed our Design
 Producer Statement and letter
 confirming Construction Monitoring
 procedures.

I trust this satisfies your
 requirements and that a Building Consent
 will now be available.

Regards Craig Lewis.



CHRISTCHURCH CITY COUNCIL

14 June 1993

Alan Cowie Design
PO Box 22-161
CHRISTCHURCH

Att: Alan Cowie

Dear Sir

**APPLICATION FOR BUILDING CONSENT
PROJECT NO. 9306593**

Your application for a building consent for the proposed alterations at 200 Manchester Street refers.

1. Please provide a producer statement of design from your structural engineering consultants.
2. Please advise Council of the value of the work.

Pending receipt of this information we shall endeavour to process the remaining aspects of your application as best we can.

Yours faithfully

Tony Enright
ENGINEER

TE:JMB



CONTACT Tony Enright Telephone: 371-1675 FILE Consents
Fax (03) 371-1920
CIVIC OFFICES • 163-173 TUAM STREET • P O BOX 237 • CHRISTCHURCH 1
NEW ZEALAND • TELEPHONE (03) 379-1660 • FAX (03) 379-7786



CHRISTCHURCH CITY COUNCIL

PUBLIC HEALTH AND SAFETY UNIT

P O BOX 237 CHRISTCHURCH NEW ZEALAND

TELEFAX MESSAGE:

FROM FAX: Local: 371-1920 STD: (03) 371-1920

TO: Name: ALAN COWIE
 Organisation: ALAN COWIE DESIGN
 Location: CHRISTCHURCH
 Fax Number: 365 4493 377 1447


SENDER: Name: TONY ENRIGHT
 Designation: ENGINEER
 Group: _____

DATE: 11 / 6 / 93 No. of Pages (Including this page): 2

MESSAGE: RE BUILDING CONSENT APPLICATION 9306593
200 MANCHESTER STREET

We have received this job for structural review and on our initial perusal we find that:

- The proposed inspection procedures are not sufficient for Council to be satisfied that the work would be constructed in accordance with the Building Code.
- There are no proposed inspection procedures accompanying the application.

 Please meet the requirements for inspection procedures as outlined on the attached sheet.

Signature: 

CHRISTCHURCH CITY COUNCIL REQUIREMENTS FOR INSPECTION PROCEDURES

1.0 PREAMBLE

The Building Act requires that an application for a building consent be accompanied by such 'plans and specifications' "as the territorial authority reasonably requires". The definition of 'plans and specifications' includes "proposed procedures for inspection during construction, alteration, demolition, or removal ...".

The following describes the preferred minimum procedure to be followed by the Owner with regard to the Owner's responsibilities for inspection and should be discussed and agreed at the time of building consent application.

2.0 REQUIREMENTS

The Council requires that the following conditions of consent be agreed to before the consent will be issued:

- (i) That the owner's consultants responsible for inspection of the building works provide a statement (•) upon completion of the works to confirm that the appropriate inspections have been conducted and that the building work has been completed to the extent required by the building consent.
- (ii) That the builder provide a statement (•) upon completion of the works, confirming that construction has been completed to the extent required by the building consent.

(•) REFER TO THE GUIDELINES AND FORMS PROVIDED BY THE ACENZ/IPENZ/NZIA JOINT TASK COMMITTEE.

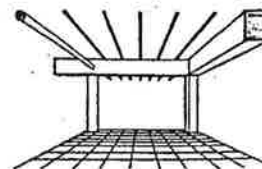
- (iii) That a record of each site visit made by the owner's consultant is kept on site, preferably in a folder in the builders shed for reference by City Council Inspector's carrying out audit compliance inspections (~~see note 5~~).

3.0 CONFIRMATION

Please provide confirmation that the above conditions will be met for Council to proceed with issuing the building consent.

~~365 4493~~

377 1447



Alan Cowie NZCD Arch.
 ARCHITECTURAL DESIGNER
 P.O. Box 22-161, Christchurch, N.
 Ph. (03) 797-685

14 May 1993

FIRE SAFETY SUMMARY FOR

MONGOLIAN MARQUEE - CORNER MANCHESTER STREET & GLOUCESTER STREET

DESCRIPTION:

Ground floor area comprising; restaurant areas, bar area and kitchen and services areas.

References.

CLASSIFICATION:

CL. - Crowd activities exceeding 100 occupants.

Fire Hazard category 2

Appdx A Table A1

MEANS OF ESCAPE (in accordance with C2/AS1 NZ Building Code)

- Means of escape routes to all areas have been considered open paths to two final exits with 1700mm double doors to streets.

C2 AS1 Tables 2&3

- Monitored manual fire alarm system required (direct connection between alarm and the fire service).

SPREAD OF FIRE (in accordance with C3/AS1 NZ Building Code)

- Existing external double brick and concrete boundary walls to remain.

- New east side inter-tenancy wall constructed to F60 fire resistant rating (refer drawings).

Appdx B Table B1/1

- Ground floor ceiling to underside of floor above is to be lined to give F60 fire resistant rating.

Appdx B Table B1/1

- No fire hose reels or emergency lighting required for open paths under 30m length

Appdx B Table B1/1 & C2/AS1 Table 3

- Fire fighting equipment to be provided at cooking areas (refer drawings) and kitchen area; dry powder fire extinguishers.

- Surface finish requirements;

Walls and ceilings;

SFI less than 3

SDI less than 6

Suspended fabrics;

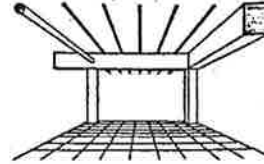
FI less than 13

C3/AS1 Table 4

STRUCTURAL STABILITY DURING FIRE (in accordance with C4/AS1 NZ Building Code)

Note - this section covered by previous sections.



ALAN COWIE 

Alan Cowie NZCD Arch.
 ARCHITECTURAL DESIGNER
 P.O. Box 22-161, Christchurch, N.
 Ph. (03) 797-685

14 May 1993

FIRE SAFETY SUMMARY FOR**MONGOLIAN MARQUEE - CORNER MANCHESTER STREET & GLOUCESTER STREET****DESCRIPTION:**

Ground floor area comprising; restaurant areas, bar area and kitchen and services areas.

References.

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Appdx B Table B1/1

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Appdx B Table B1/1 & C2/AS1 Table 3

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- Surface finish requirements;

Walls and ceilings;

SFI less than 3

SDI less than 6

Suspended fabrics;


FI less than 13

C3/AS1 Table 4

STRUCTURAL STABILITY DURING FIRE (in accordance with C4/AS1 NZ Building Code)

Note - this section covered by previous sections.



 CHRISTCHURCH <small>THE GARDEN CITY</small> <i>The city that shines</i>	CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 [S.44(2)] COMPLIANCE SCHEDULE	FORM: BA12 PROJECT NO. [IF ANY]: 9306593
---	---	--

BUILDING	
Street address (If any): <u>200-204 GLOUCESTER STREET</u> Intended use (In detail) and any conditions of use: <u>RESTAURANT AND BAR</u> Intended life: <input type="checkbox"/> Indefinite but not less than 50 years <input checked="" type="checkbox"/> Specified as <u>12</u> years	Legal Description: <u>Lot 7 DP 1011</u> COUNCIL CHARGES The Council's total charges payable on the uplifting of this compliance schedule (new buildings only) in accordance with the attached details, are: \$ Receipt No.:

OWNER	
Name: <u>ANTHONY JOHN DUDON</u>	
Mailing Address: <u>20 Applewood Pl</u>	
	<u>CHRISTCHURCH 5</u>

	Systems	Maintenance Procedure	Frequency	Responsibility
A	Automatic Sprinkler System or Other System for Fire Protection	NZS.4541 or NZS 4515 as is appropriate for the installation	As specified	Independent Qualified Person
B	Automatic Fire Doors forming part of Fire Wall	Visual inspection to ensure that doors are in good working order NZBC(C3)	Monthly Annually	Owner Independent Qualified Person
C	Emergency Warning System for Fire or Other Dangers	Manual System NZS 4561: Appendix A Automatic System NZS 4512	Monthly Annually Monthly	Owner Independent Qualified Person Independent Qualified Person
D	Emergency Lighting System	Emergency Lighting System shall be inspected to ensure compliance with NZBC F6 and NZS 6742	Monthly Annually	Owner Independent Qualified Person
E	Escape Route Pressurisation System	Inspection shall be in accordance with AS 1851-6 or designers recommendation	As specified	Independent Qualified Person
F	Riser Main for Fire Service	Inspection of Hydrants to detect obvious faults NZS 4510	Monthly As specified	Owner Independent Qualified Person
G	Automatic Back Flow Preventer Connected to Potable Water Supply	Back Flow Preventer shall be repaired or replaced if they fail the inspection test	Annually	Independent Qualified Person
H	Lifts, Escalators, Travelators or similar system	Power Lift Rules 1989 D2/AS1 and D2/AS2	Manufacturers /or Suppliers Recommendations	Independent Qualified Person
I	Mechanical Ventilation or Air Conditioning	NZBC C3 & G4 AS 1851-6 and G4/AS1	As Specified	Independent Qualified Person

	Systems	Maintenance Procedure	Frequency	Responsibility
J	Any Other Mechanical, Electrical or Electronic System whose Proper Operation is necessary for Compliance with the Building Code.	As determined by designer for inspections and maintenance	As specified As specified	To be extracted from design specifications by Owner
K	Building Maintenance Units	Inspect in accordance with BS 6037 1981 Clause 21	3 Monthly 6 Monthly	Owner Independent Qualified Person
L	Such signs as are required by the Building code in respect of the above mentioned systems	All signs are to be clearly visible and unobstructed. Signs shall be refurbished before they become illegible, and shall be replaced immediately should they be missing. Defects in illuminated signs shall be removed immediately they are apparent.	Monthly	Owner
M	Means of Escape from Fire	Visual inspection to ensure all the means of escape are in good repair NZBC C2	Monthly Annually	Owner Independent Qualified Person
N	Safety Barriers	Visual inspection to ensure all safety barriers are firmly secured in place	Quarterly	Owner
O	Access to and Facilities for People with Disabilities	Section 25 of the Disabled Person Community Welfare Act 1975 NZS 4121:1985	6 Monthly Annually	Owner Independent Qualified Person
P	Hand Held Hose Reels for Fire Fighting	Service in accordance with NZS 4503:1974	Monthly Annually	Owner Independent Qualified Person
Q	Such signs as are required by the Building code or Section 25 of the Disabled Persons Community Welfare Act 1975	All signs are to be clearly visible and unobstructed. Signs shall be refurbished before they become illegible, and shall be replaced immediately should they be missing.	Monthly	Owner

Signed for and on behalf of the Council:

Name:

Position: Date: / /

To: DRAINAGE AND WASTE MANAGEMENT UNIT
Location: CAMBRIDGE HOUSE
Fax Number: 379-1802

From: AREA DEVELOPMENT TEAM
Service Centre: CIVIC OFFICES
Fax Number:

Date: 25.5.93 No. of Pages (Including this page): 3

PIM REQUEST FOR:

Project No. 9306593

Site Address: 200 MANCHESTER ST. Legal Description: Lt 5, 6 & 7. DP 1911

Proposal: RESTAURANT.

Please supply the following information in relation to this site by:—

- 1. ~~Details of existing stormwater and wastewater utility systems relating to:

 - i) ~~this site.~~
 - ii) ~~adjacent sites.~~~~
- 2. ~~Details of any known hazards in terms of Section 31 of the Building Act 1991 that are likely to be relevant to the design and construction of the proposed building work.~~
- 3. Details of any other authorisations that may be required in respect of the building work.
- 4. ~~Any minimum floor/lot levels required.~~ TRADE WASTES ?
DISCHARGE FROM KITCHEN.

PHILL CARR


Building Information Officer

SIGNATURE: 

PLEASE ADVISE BY FAX IF ALL PAGES NOT RECEIVED

DATE OF ISSUE: 23/1/92

CIVIC. GEN

 <p>CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 [S.33] APPLICATION FOR BUILDING CONSENT</p>	<p>FORM: BA3</p>
	<p>PROJECT NO.: 93 06593</p>

SCOPE OF APPLICATION. This Application is for:

- Project Information Memorandum and Combined Building Consent Building Consent only.

[Tick each applicable box and attach relevant documents in duplicate.]

<p>APPLICANT * (OWNER)</p> <p>Name: ALAN COWIE (OWNERS AGENT)</p> <p>Mailing Address: P.O. BOX 22161 CH - CH</p> <p>Contact: [Print name and position]: TONY DUNDER (LEASE) PH 3666666</p> <p>Phone: 3797685 Fax: 3654493</p> <p><small>* Under Section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.</small></p>	<p>PROJECT LOCATION</p> <p>Street address (If any): CNR MANCHESTER/GLOWESTER ST 200 MANCHESTER ST</p> <p>Legal Description [As shown on certificate of title or rates notice, if any]:</p> <p>Lot: 5, 6, 7 DP: 1911</p> <p>Section: SO:</p> <p>Site Area:</p> <p>C.T. No.:</p> <p>Other:</p>
<p>FOR COUNCIL USE</p> <p>Received: 19 / 5 / 93</p> <p>Application fee: \$</p> <p>Receipt No.</p> <p>Balance of fees payable: \$</p> <p>Receipt No.</p> <p>Date: / /</p> <p>Zone:</p> <p>Ward:</p>	<p>PROJECT</p> <p><input type="checkbox"/> New or relocated building <input checked="" type="checkbox"/> Alteration</p> <p>Intended use(s) (In detail): GROUND FLOOR BAR & RESTAURANT - structural alter to building & ↑ fit-out</p> <p>Intended life:</p> <p><input checked="" type="checkbox"/> Indefinite but not less than 50 years <input type="checkbox"/> Specified as years <input type="checkbox"/> Demolition</p> <p>Being stage of an intended stages.</p> <p>Floor Area: Existing: m² Proposed: m²</p> <p>Estimated value (inclusive of GST): \$?</p>

CHRISTCHURCH CITY COUNCIL
P.I.M. APPLICATION
Rec'd. 19 MAY 1993
CIVIC OFFICES
PROJECT No.

I wish to uplift this consent from: CIVIC OFFICES Service Centre

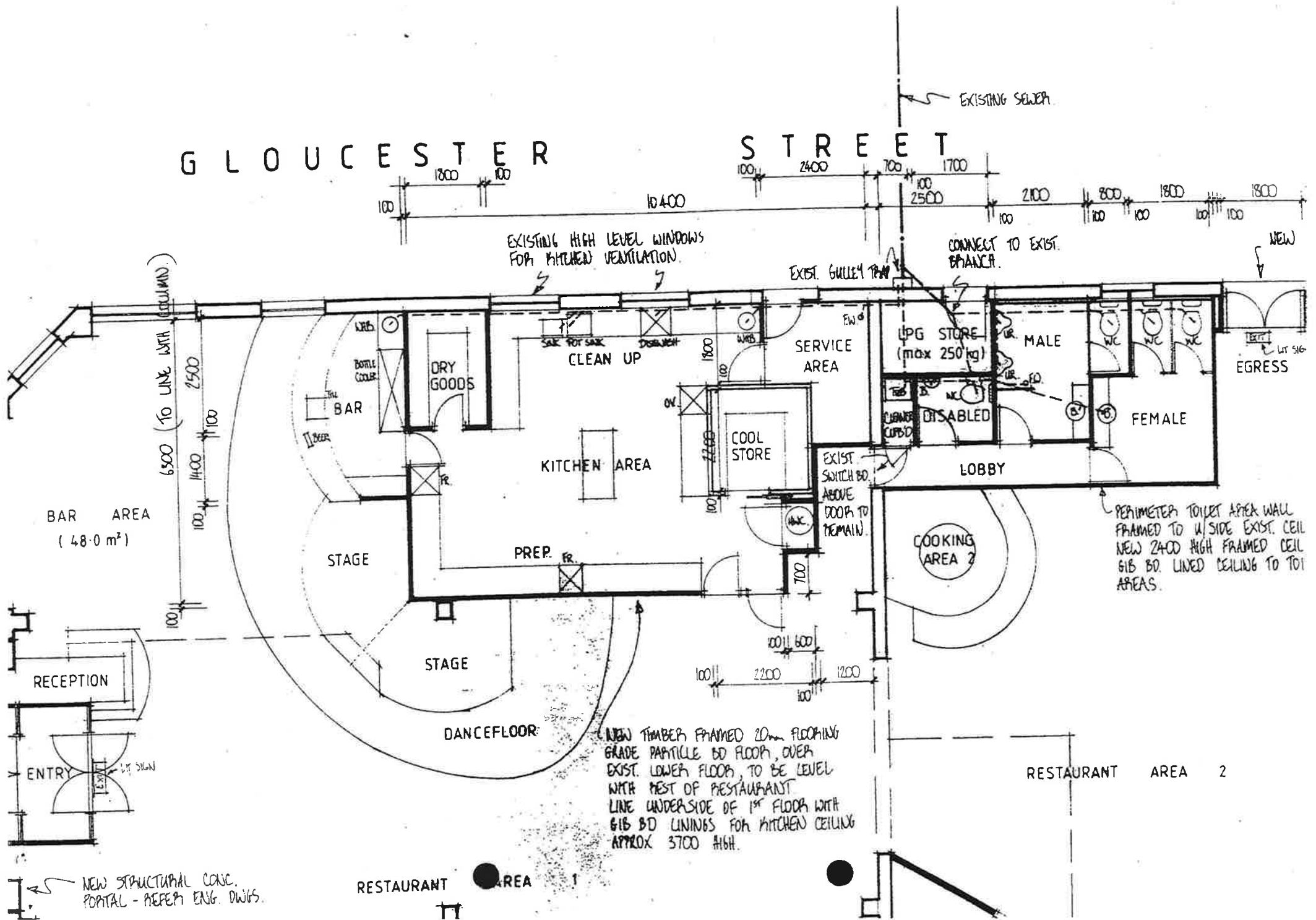
(Signed by or for and on behalf of the applicant):

Name (Print): ALAN COWIE Signature: [Signature] (on behalf of owner)

Position: Owner Authorised Agent Date: 19 / 5 / 93

G L O U C E S T E R

S T R E E T



CL J O S T R

4031

4032

4.3.46

cc-50's
Albinone K. K. K.
1-83-14
23-10-86

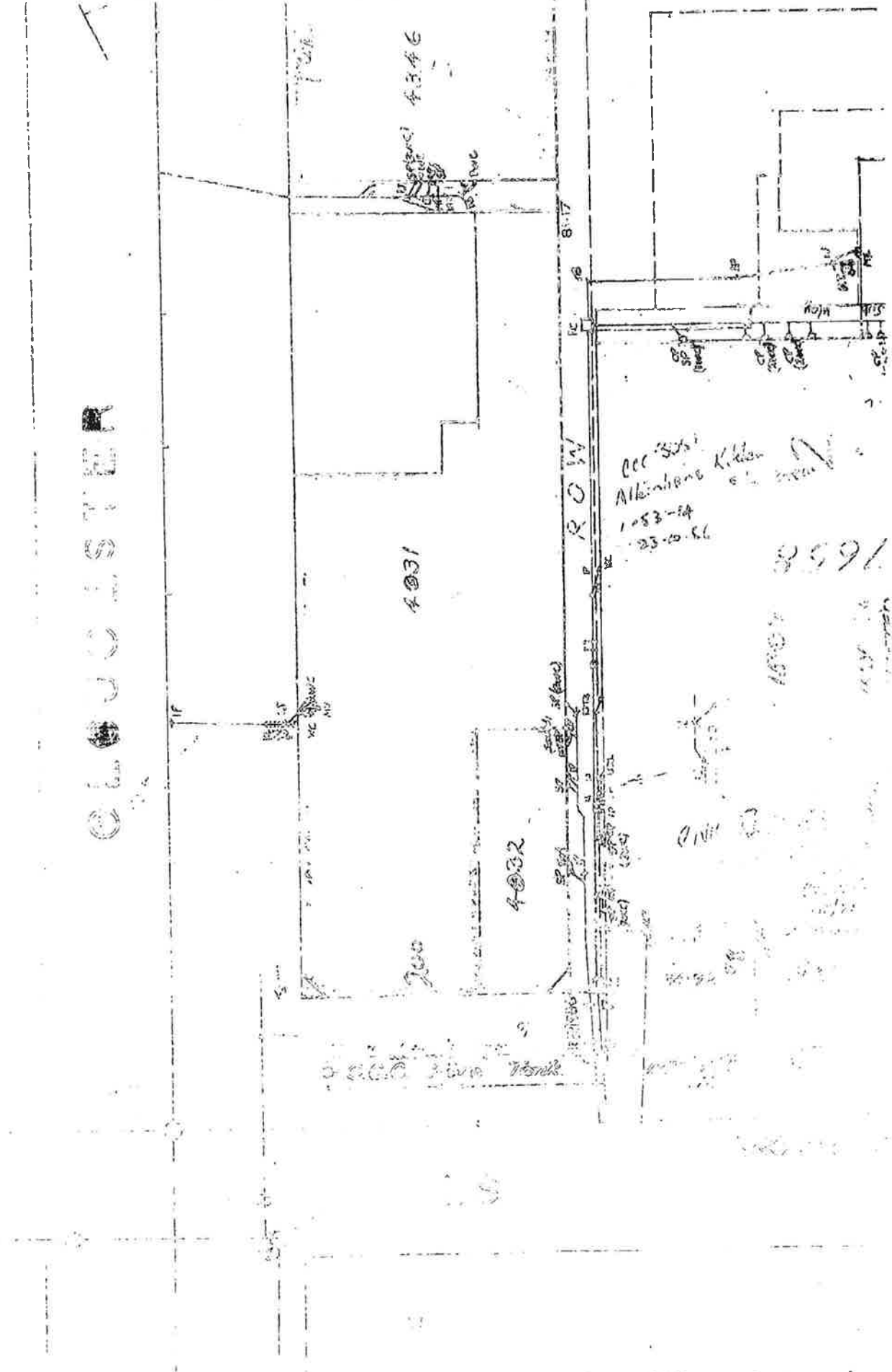
8591

1500


1500

TOINLESS

REVISIONS



3654-613

 <p>CHRISTCHURCH THE GARDEN CITY <i>the city that shines</i></p>	<p align="center">CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 PRELIMINARY APPLICATION CHECK SHEET</p>	<p>PROJECT NO.:</p> <p align="center">9306593</p>
--	---	---

Project: ~~Structural alteration~~ *Restor. fit-out - ground floor*

Location: *200 Manchester St* Date: *19/5/93*

	Received	Required
ALL APPLICATIONS		
• Application Form Fully Completed		
• Plans of Proposal in Duplicate /TriPLICATE		
a) Fully dimensioned site plan to scale showing:		
— Position of all existing and proposed buildings in relation to legal boundaries	✓	
— Site Levels	—	
— Floor Plan	✓	
— Vehicle access and parking areas		✓
— Living and service courts	—	
— Connections to services - Foulwater	✓	
- Stormwater	✓	
- Water	—	
— Dangerous Goods Storage	✓	
— Signs	—	
b) Complete, drawn to scale, elevations of proposed building work.		
• Recent Search Copy of Certificate of Title		✓
• Other (Specify)	—	
BUILDING CONSENT ONLY (In Duplicate)		
• Roof Truss Details and Layout	—	
• Bracing Schedule and Description	—	
• Cross Sections	✓	
• Specifications	✓	
• Foundation Design and Report on Ground Conditions	—	
• Design Details Other than Foundations, Calculations, <i>Design Certificate for Compliance</i>		✓
• Water Application Form	—	

Note to the Applicant: Your application may be delayed if the above required items are not submitted. Please forward these details to the Service Centre.

A more detailed investigation of the above application may reveal the need for you to supply further information.

Fendalton Service Centre
Cnr Jeffreys Road and Clyde Road
P O Box 29-183, Fendalton
Telephone 351-7109
Fax 351-7780

Sockburn Service Centre
149 Main South Road
P O Box 11-011, Sockburn
Telephone 348-5119
Fax 348-9092

Linwood Service Centre
180 Smith Street
P O Box 24-214, Linwood
Telephone 389-1477
Fax 389-1093

Beckenham Service Centre
66 Colombo Street
P O Box 12-033, Beckenham
Telephone 332-3099
Fax 332-3443

Shirley Service Centre
Shirley Mall Car Park
Marshland Road
P O Box 27-043, Shirley
Telephone 385-3079
Fax 385-4224

Papanui Service Centre
Northlands Mall
Main North Road
P O Box 5142, Papanui
Telephone 352-8117
Fax 352-1308

Environmental Administration Unit
Christchurch City Council
163-173 Tuam Street
P O Box 237
Christchurch
Telephone 379-1660
Fax 371-1792

PLACE BAR CODE LABEL HERE

- CONSENT PROCESSING REVIEW SHEET									
PROJECT APPLICATION NO. <u>9306593</u>					DATE: <u>3/15/95</u>				
<u>200 Manchester St</u>									
<u>Restaurant fitout</u>									
	Architectural	Fire Safety	Structural	Civil	Mechanical	Plumbing & Drainage	Health & Safety	Electrical	
GENERAL PROVISIONS									
A1	Classified uses								
A2	Interpretation								
STABILITY									
B1	Structure								
B2	Durability								
FIRE SAFETY									
C1	Outbreak of fire								
C2	Means of escape								
C3	Spread of fire								
C4	Structural stability during fire								
ACCESS									
D1	Access routes								
D2	Mechanical installations for access								
MOISTURE									
E1	Surface water								
E2	External moisture								
E3	Internal moisture								
SAFETY OF USERS									
F1	Hazardous agents on site								
F2	Hazardous building materials								
F3	Hazardous substances and processes								
F4	Safety from falling								
F5	Construction and demolition hazards								
F6	Lighting for emergency								
F7	Warning systems								
F8	Signs								
SERVICES AND FACILITIES									
G1	Personal hygiene								
G2	Laundering								
G3	Food preparation and prevention of contamination								
G4	Ventilation								
G5	Interior environment								
G6	Airborne and impact sound								
G7	Natural light								
G8	Artificial light								
G9	Electricity								
G10	Pipes services								
G11	Gas as an energy source								
G12	Water supplies								
G13	Foul water								
G14	Industrial liquid waste								
G15	Solid waste								
ENERGY EFFICIENCY									
H1	Energy efficiency								

9306593 J

NOTES

CHRISTCHURCH CITY COUNCIL
P.I.M. APPLICATION
 Rec'd 19 MAY 1993
 Civic Offices
 PROJECT No. 9306593

AMENDMENTS

ALAN COWIE DESIGN
 133 PETERBOROUGH ST
 PO BOX 22161
 CHRISTCHURCH NZ

CJ BROWN & CO. DESIGNERS
 ARCHITECTURAL & INTERIOR DESIGN
 PHONE: 03 365-4493 & FAX: 03 365-4493
 P.O. BOX 22634, CHRISTCHURCH
 NEW ZEALAND

ALL DIMENSIONS MUST BE SITE CHECKED BY CONTRACTORS. THIS DRAWING IS SUBJECT TO COPYRIGHT.©

PROJECT
MONGOLIAN MARQUEE RESTAURANT & BAR

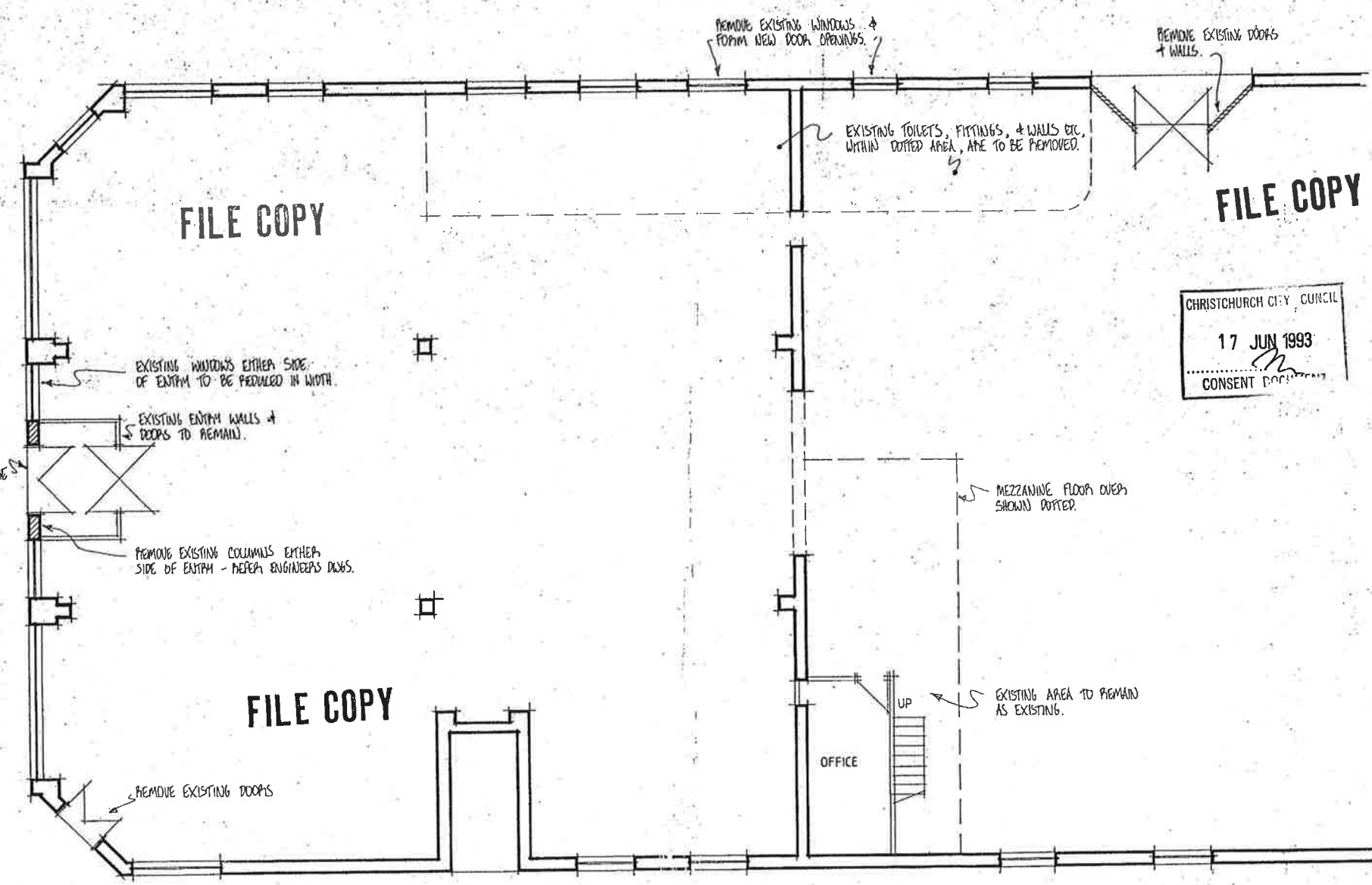
DRAWING
 EXISTING PLANS

JOHN PETERSEN SCALE 1:100

No 93 / 108 - 01

G L O U C E S T E R S T R E E T

M A N C H E S T E R S T R E E T



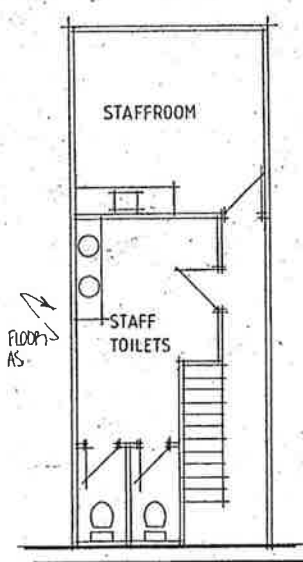
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CHRISTCHURCH CITY COUNCIL
 17 JUN 1993
 CONSENT DOCUMENT



9306593 (2)



GROUND FLOOR

MEZZANINE

CONFIDENTIAL

NOTES

CHRISTCHURCH CITY COUNCIL
P.I.M. APPLICATION
 Rec'd 19 MAY 1993
 Civic Offices
 PROJECT No.

AMENDMENTS

FILE COPY

CHRISTCHURCH CITY COUNCIL
 17 JUN 1993
 CONSENT DOCUMENT

ALAN COWIE DESIGN
 133 PETERBROUGH ST
 PO BOX 22161
 CHRISTCHURCH NZ

CJ BROWN & CO. DESIGNERS
 ARCHITECTURAL & INTERIOR DESIGN
 PHONE: 03 365-4493 & FAX: 03 365-4493
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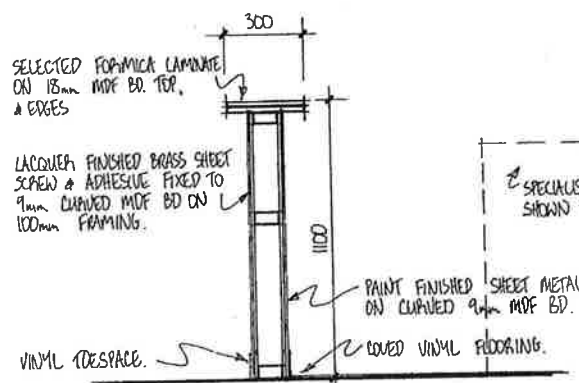
PROJECT
 MONGOLIAN MARQUEE
 RESTAURANT & BAR

DRAWING
 SECTIONS

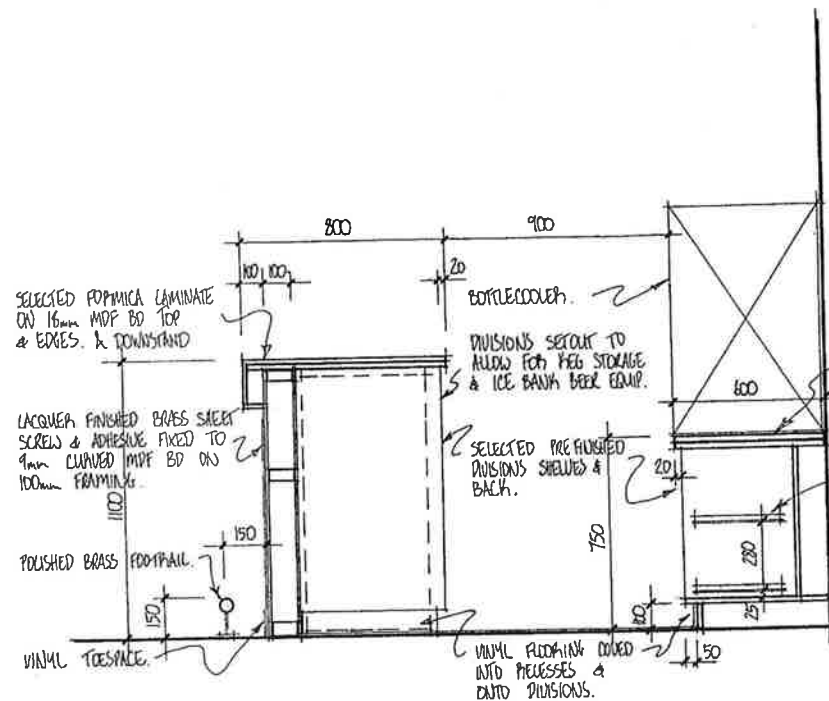
JOHN PETERSEN SCALE 1:20

No 93 / 108 - 03

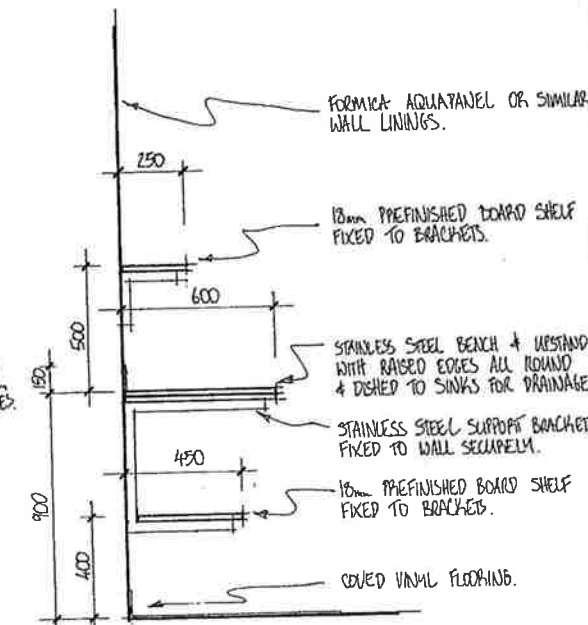
EXTRACT HOOD OVER SHOWN DOTTED
 REFER SPECIALISTS DETAILS.



COOKING AREA SECTION



BAR SECTION



KITCHEN SECTION

930 6593

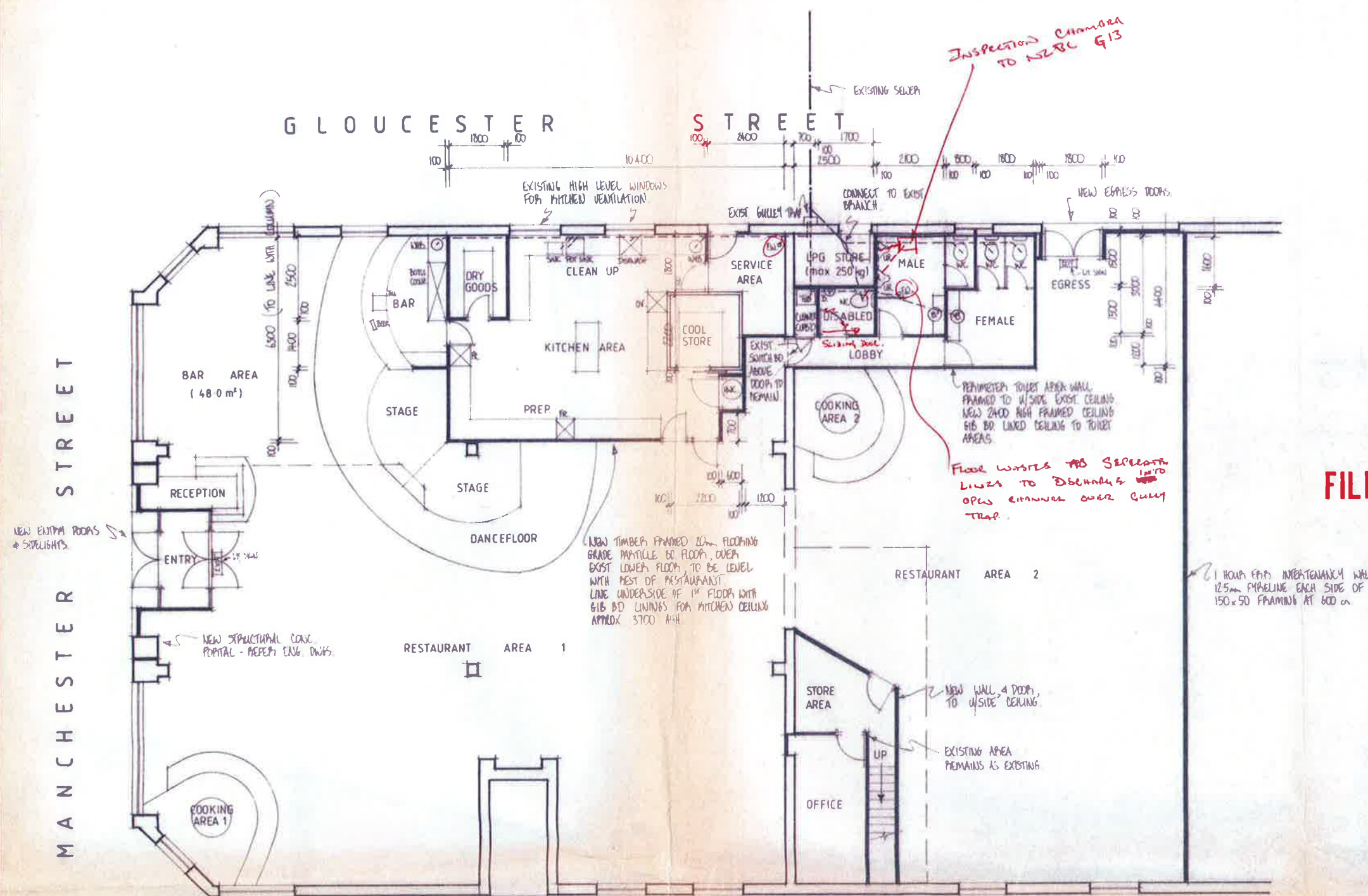


CONFIDENTIAL

MANCHESTER STREET

GLOUCESTER STREET

STREET



FLOOR PLAN

NOTE - LEASED TO MONGOLIAN MARQUEE
5 CARPARKS LOCATED NEAR OF ADJACENT BUILDING.

- NOTES**
- ALL PLUMBING & DRAINAGE SHALL COMPLY WITH THE N.Z. BUILDING CODE & LOCAL AUTHORITY REQUIREMENTS
 - NO GREASE TRAP HAS BEEN SHOWN BECAUSE OF THE MONGOLIAN MARQUEE'S COOKING APPLIANCES.
 - NO WASTE DISPOSAL UNIT IS ACQUIRED TO MITCHELL SINKS
 - WALLS & CEILING TO LPG STORE SHALL BE LINED WITH 10mm PIPELINE TO PROVIDE 1 HR FRM, AS PER GIB BO SPECIFICATIONS
 - TOILET & MITCHELL AREAS GENERALLY LINED WITH FORMICA AQUAPANEL OR SIMILAR WITH COVED VINYL FLOORING
 - VENTILATE TOILET LOBBY & DISABLED TOILET WITH CEILING MOUNTED EXTRACT FANS DUCTED TO EXTERIOR
 - MITCHELL AREA SHALL HAVE NORMAL FORM DRY ROUSER PIPE EXTINGUISHER NEAR DOORS TO RESTAURANT AREA. EACH COOKING AREA SHALL ALSO HAVE A NORMAL FORM DRY ROUSER PIPE EXTINGUISHER.
 - BOTH COOKING AREAS TO HAVE 2000 x 2000mm STAINLESS STEEL EXTRACT HOODS COMPLETE WITH FILTERS MOUNTED OVER & DUCTED TO EXTERIOR.

AMENDMENTS

CHRISTCHURCH CITY COUNCIL
P.I.M. APPLICATION

Rec'd 19 MAY 1993
Civic Offices
PROJECT No.

CHRISTCHURCH CITY COUNCIL
17 JUN 1993
CONSENT DOCUMENT

FILE COPY

ALAN COMIE DESIGN
133 PETERBOROUGH ST
PB BOX 22161
CHRISTCHURCH NZ

CJ BROWN & CO. DESIGNERS
ARCHITECTURAL & INTERIOR DESIGN
PHONE: 03 365-4493 & FAX: 03 365-4493
P.O. BOX 22634, CHRISTCHURCH
NEW ZEALAND

ALL DIMENSIONS MUST BE SITE CHECKED BY CONTRACTORS.
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PROJECT
MONGOLIAN MARQUEE
RESTAURANT & BAR

DRAWING
PLANS

MAN COMIE SCALE 1:100
No 93 / 108 - 02

CONFIDENTIAL

FINAL CODE COMPLIANCE CERTIFICATE

Issued by
**BUILDING CONTROL INSPECTION SERVICES
CHRISTCHURCH CITY COUNCIL**



BUILDING CONSENT No.
10047885

Project Location

Street Address: 204 MANCHESTER STREET, CITY, CHRISTCHURCH 800
Legal description: LOT 5 DP 1911

Project Particulars

THIS CERTIFICATION IS FOR:

Additions & Alteration

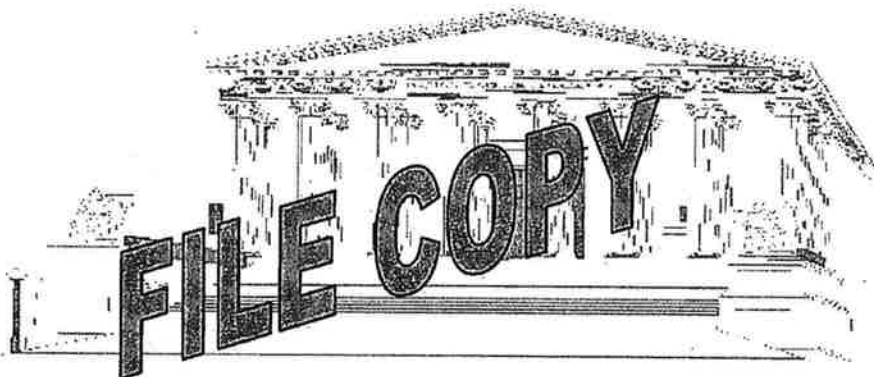
THE INTENDED USE(S) FOR THIS BUILDING WORK IS FOR:

Restaurant, Bar, Tavern, Cafe

WORK DETAILS:

ALTERATIONS TO GROUND & FIRST FLOOR

The intended life of this building work is Indefinite, but not less than 50 years.




This certificate is issued under Section 43 clause (3) of the Building Act 1991 and is a Final Code Compliance issued in respect of all work under the above Building Consent.

Signed for and on behalf of the Christchurch City Council:

Date of Issue: 17/03/2005
Name: *[Signature]*
Position: Building Inspection Co-ordinator



 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	<h1 style="margin:0;">CHRISTCHURCH CITY COUNCIL</h1> <h2 style="margin:0;">BUILDING INSPECTION SERVICES</h2>	PROJECT NO: 16047885
Site Address: <u>209 Manchester.</u>		
Description of Consent: <u>Building atts.</u>		

Demolition	Fire Resistant Rating	Final (Comm/Ind)	M8	Producer Statement:
Site Cleared	Smoke Alarms	BA9 Received		Structural ()
FW Cut and Sealed	Glazing	Car Parking Marked		As Built Drainage Plan
Final (Residential)	M8	Access Routes Non-slip		HVAC
BA9 Received	Retaining Wall Drainage	Stormwater		Fire Alarm Installer <i>R</i>
Wall Cladding Cert	Swimming Pool	Rainheads		FPIS <i>R</i>
Downpipes	Swimming Pool Fence	Gully Traps		Fire Engineer
Stormwater	Balconies	Main Vents		Emergency Lighting <i>R</i>
Flashings	Overflow	Surface Water Sumps		Pressurisation
Gully Dishes	Overflow Relief	Trade Waste		Extraction
Waste Pipes	Pickup completed	Glass Safety		Sprinklers
Main Vents	Landscaping (Y/N)	Glass Visibility		Back Flow IQP Test
Air Admittance Valve	Structural P/S	Barriers		Elect Certificate
Surface Water Sumps	Photos taken	Stairs		Gas Certificate
Submersed Outlets	Solid Fuel Heater	MH	Hand Rails	Section 37 Certificate
Hard Standing Levels	Seismic Restraint	HWC Restraints		Lift
HWC Restraint	Hearth	Anti Scald		Lift As Built
HWC Valves	Flue	Emergency Lighting		Smoke Test
Anti Scald Protection	Clearances	Ventilation (HVAC)		Construction
Barriers	Mantle	Fire Resistant Rating		
Landing	BA30 Form	Fire Alarm Type		
Flashings	Smoke Alarms	Egress		
Hand Rails	Accessible Facilities	Signage		BI 1 Form completed
Stair Treads	" Route			Reconciliation of Inspection
Stair Risers	" Toilet			Estimate
Ventilation of Spaces	" Grab Rails			Actual
Mechanical Ventilation	" Hardware			Interim CCC
Range Hoods	" Carpark			Amended Plan Fees
Ceiling Insulation	" Signage			Refund/Debit

Comments

PROJECT COMPLETE

SIGNED: *[Signature]*

DATE: 16.10.05

Bob Pelham. +ing 8.03.05

0275533091.

~~Fire alarm installers cert + signed by F.P.I.S~~

~~Certificate for the emergency lighting~~ ✓

All work inspected is in accordance with the Building Consent.		Inspection Type FINAL	Rectfn T Fm
Some work is not satisfactory as detailed above and rectification is required.			
Signed: <i>[Signature]</i> Date: <u>9.5.05</u>			
GEOF WHELAN 0274340713	<h3 style="margin:0;">SITE INSPECTION REPORT</h3> <p style="margin:0; font-weight: bold;">This is not a Code Compliance Certificate</p>		<p style="margin:0;">Key</p> <p style="margin:0;">R = Rectification</p> <p style="margin:0;">- = Not Applicable</p> <p style="margin:0;">✓ = Approved</p>



CHRISTCHURCH
CITY COUNCIL · ENVIRONMENT

24 January 2005

Bob Pelham
Extreme Limited
200 Manchester Street
CHRISTCHURCH

Dear Mr Pelham

**Project Number 10047885, Alterations to ground and first floor -
204 Manchester Street**

This letter is to advise you of Section 363 the Building Act 2004.

Section 363 Offence to permit public use of building for which no building consent or code compliance certificate has been granted.

Council records show you as the owner or applicant for a Building Consent at the above address. This project must be completed and the Code Compliance Certificate issued by 30 March 2005. Please book a final inspection on 9418904 to enable the Council to assess compliance.

It is an offence from 31 March 2005 to allow the public access to any part of a building that is affected by building work. A person who commits this offence is liable to a fine not exceeding \$200,000 and in the case of a continuing offence a further fine not exceeding \$20,000 per day or part thereof.

Yours faithfully

Tim Weight
TEAM LEADER
BUILDING INSPECTION TEAM
03 941 8866

CONTACT: GEOFF WHELAN
PHONE: 941 8894
ENCL: COPY OF SITE REPORT

Environmental Services Unit • Civic Offices • 163-173 Tuam Street • P O Box 237 • Christchurch
New Zealand • Telephone 941-8999 • Fax 941-8792 • <http://www.ccc.govt.nz/es/>

Tim Weight Telephone 03 941-8866 Fax 941 8920 • email: tim.weight@ccc.govt.nz

FILE:

Warren R. Lewis BE (Hons) MIPENZ CPEng. ANZIM
 Stephen W. Barrow BE (Hons) MIPENZ CPEng.



LEWIS & BARROW LTD
 Consulting Civil and Structural Engineers:

PRODUCER STATEMENT CONSTRUCTION REVIEW.

183 Hereford Street
 P.O. Box 13-282
 Christchurch
 New Zealand
 Telephone (03) 366-4320
 Fax (03) 365-7069
 Email eng@lewisandbarrow.co.nz
 www.lewisandbarrow.co.nz

Issued By:	Lewis and Barrow Ltd	File No. 12646
Site Engineer :	Warren Lewis	
To:	Christchurch City Council	
Project Number:	10047885	
In Respect Of:	Canopy, Alterations, Signs and Strengthening	
At:	200 Manchester Street	
	Lot 5 DP 1911	

Lewis & Barrow Ltd has been engaged by Extreme Ltd Trading as Iconic to provide site inspections of the preparation for all steelwork, concrete foundations, bolting to brick walls, truss strengthening as described by the drawings and specifications prepared by Lewis & Barrow Ltd titled Proposed Structural Strengthening - Cue Time Manchester Street numbered 12646/1 to 6 and 8 site inspection reports were issued during the course of the work to detail interpretations, modifications, and give instructions.

As an independent design professional currently a member of the Association of Consulting Engineers of N.Z., I or personnel under my control have carried out the above site inspections of the work and based upon these inspections and information supplied by the Contractor during the course of the work, I believe on reasonable grounds that the structural design was being interpreted by the Contractor in accordance with the intent of the structural design at the time of these inspections.

Warren R Lewis
 B.E. (Hons) MIPENZ CPEng.

Director - Lewis & Barrow Ltd.

Date **23 November 2004**
 CPEng Ref. No. 33543
 Member ACENZ, IPENZ

 <p>CHRISTCHURCH CITY COUNCIL - ENVIRONMENT</p>	<p>CHRISTCHURCH CITY COUNCIL ENVIRONMENTAL SERVICES UNIT</p> <p>PO Box 237, Christchurch Fax 941-8920, Telephone 941-8904</p>	<p>FORM: BA9</p>
---	---	-------------------------

Dear Building Owner

**COMPLETION OF YOUR BUILDING PROJECT
FINAL INSPECTION AND CODE COMPLIANCE CERTIFICATE**

Once your building project has been completed you are required to advise the City Council's Building Inspection Team so that they can carry out a final inspection.


Following this inspection you will receive a Code Compliance Certificate providing that the building work is correctly completed in accordance with the Building Code.


Therefore, to set this process in motion you need only complete and detach the lower part of this form labelled Form BA9 and return it to the City Council.

Note, that before completing Form BA9, please check that you have fulfilled the conditions of Building Consent, if any. This is important if you have been employing professional consultants to carry out inspection work during the course of construction, as a confirming "Producer Statement" may be required by the Council as part of the conditions.

FURTHER NOTE: Before the Council issues the Building Project's Code Compliance Certificate a copy of a Certificate of Compliance for any electrical work and/or certification certificate for any gas fitting work carried out with this project must be provided.

Yours faithfully
ENVIRONMENTAL SERVICES MANAGER

FORM BA9	APPLICANT'S ADVICE NOTICE OF COMPLETED BUILDING WORK	
<p>To: Team Leader Building Inspections Christchurch City Council PO Box 237, Christchurch</p>	<p>PROJECT NO <u>10047885</u></p>	
<p>[Cross each applicable box and attach relevant documents]</p>		
<p>You are hereby advised that:</p> <p><input checked="" type="checkbox"/> All</p> <p><input type="checkbox"/> Part only as specified in the attached particulars</p> <p>of the building work under the above building consent is believed to have been completed to the extent required by that Building Consent.</p>	<p>You are requested to issue:</p> <p><input checked="" type="checkbox"/> A final Code Compliance Certificate</p> <p><input type="checkbox"/> An interim Code Compliance Certificate for only</p> <p>The attached particulars include:</p> <p><input checked="" type="checkbox"/> Producer statements (if required)</p>	
<p>I _____ advise that the above building project is complete to the extent required by the building consent (including any conditions) and hereby request the Council to make a final inspection for the purposes of obtaining a Code Compliance Certificate:</p>		
<p style="text-align: right;">(please tick)</p> <p>Date Inspection Required: <u>23 NOVEMBER 2004</u> Time: AM <input type="checkbox"/> PM <input checked="" type="checkbox"/></p>		
<p>Site Address: <u>204 MANCHESTER ST</u></p>		
<p>Contact Name: <u>MARK MCKENZIE</u> Contact Phone: <u>021 390 395</u></p>		
<p>Postal Address for receipt of Code Compliance Certificate or any further correspondence:</p>		
<p>Signed by or for and on behalf of the owner: </p>		<p>Date: <u>23/11/04</u></p>

 CHRISTCHURCH <small>CITY COUNCIL - ENVIRONMENT</small>	<h1 style="margin:0;">CHRISTCHURCH CITY COUNCIL</h1> <h2 style="margin:0;">BUILDING INSPECTION SERVICES</h2>	PROJECT NO: <div style="font-size: 1.5em; font-family: cursive;">10047885</div>
Site Address: <u>204 Manchester</u>		Description of Consent: <u>Fit out & alts.</u>

Demolition	Fire Resistant Rating	Final (Comm/Ind)	M8	Producer Statement
Site Cleared	Smoke Alarms	BA9 Received	✓	Structural () ✓
FW Cut and Sealed	Glazing	Car Parking Marked	✓	As Built Drainage Plan ✓
Final (Residential)	M8	Access Routes Non-slip		HVAC ✓
BA9 Received	Retaining Wall Drainage	Stormwater		Fire Alarm Installer ✓
Wall Cladding Cert	Swimming Pool	Rainheads		FPIS ✓
Downpipes	Swimming Pool Fence	Gully Traps		Fire Engineer ✓
Stormwater	Balconies	Main Vents		Emergency Lighting ✓
Flashings	Overflow	Surface Water Sumps		Pressurisation ✓
Gully Dishes	Overflow Relief	Trade Waste		Extraction ✓
Waste Pipes	Pickup completed	Glass Safety	✓	Sprinklers ✓
Main Vents	Landscaping (Y/N)	Glass Visibility	✓	Back Flow IQP Test ✓
Air Admittance Valve	Structural P/S	Barriers	✓	Elect Certificate ✓
Surface Water Sumps	Photos taken	Stairs	✓	Gas Certificate ✓
Submersed Outlets	Solid Fuel Heater	MH	Hand Rails ✓	Section 37 Certificate ✓
Hard Standing Levels	Seismic Restraint	HWC Restraints		Lift ✓
HWC Restraint	Hearth	Anti Scald		Lift As Built ✓
HWC Valves	Flue	Emergency Lighting	✓	Smoke Test ✓
Anti Scald Protection	Clearances	Ventilation (HVAC)	✓	Construction ✓
Barriers	Mantle	Fire Resistant Rating	✓	
Landing	BA30 Form	Fire Alarm Type	✓	
Flashings	Smoke Alarms	Egress	✓	
Hand Rails	Accessible Facilities	Signage	✓	BI 1 Form completed ✓
Stair Treads	" Route			Reconciliation of Inspection
Stair Risers	" Toilet			Estimate
Ventilation of Spaces	" Grab Rails			Actual
Mechanical Ventilation	" Hardware			Interim CCC
Range Hoods	" Carpark			Amended Plan Fees
Ceiling Insulation	" Signage			Refund/Debit

Comments

Barriers to staff room & hand rail
Exit sign first floor egress
Hand rail to mezz floor
Cert from fire engineer.

Ezy Lift Domestic double water.
EZY LIFT LTD.

All work inspected is in accordance with the Building Consent.		Inspection Type <div style="font-size: 2em; font-weight: bold;">FINAL</div>	Rectfn T Fm/...../.....
Some work is not satisfactory as detailed above and rectification is required.			
Signed: <u>[Signature]</u> Date: <u>23/11/04</u>		Key R = Rectification - = Not Applicable ✓ = Approved	

SITE INSPECTION REPORT

This is not a Code Compliance Certificate

 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	<h2 style="margin:0;">CHRISTCHURCH CITY COUNCIL</h2> <h3 style="margin:0;">BUILDING INSPECTION SERVICES</h3>	PROJECT NO: 10047885
Site Address: <u>204 Manchester</u>		
Description of Consent: <u>4 Storey</u>		

Prepour Foundation	M1	Bracing		Concrete Construction	220	Grade	
Siting		Weatherboards		Reinforcing		Water Test	
Levels		Connections		Engineering Reports		Pick-up Completed	
Bearing		Floor Joist Layout		Blockwork Construction	221	Yard Sumps	
Reinforcing		Lintels		Reinforcing		Bubble Up Chambers	
Slab Ties		Insulation Walls		Cleanouts		Pre Stopping	M7
Engineering Report		Insulation Ceilings		Steel Construction	222	Brace Element Fixings	
Surveyors Certificate		Roof Cladding		Beam Size		Fire Lining Fixings	
Sub-floor Drainage	M1A	Ceiling Fans		Connections		Flashings	213
AS 3500 Drainage		Range Hoods		Beam Support		Windows	
Overflow Relief		Bottom Plates		Solid Plaster	224	Doors	
Prepour Slab	M2	Building Wrap		Expansion		Monolithic Cladding	214
Tailings		Engineering Verification		Substrate		System	
DPM		Preline Plumbing	M4B	Control Joints		Fixings	
Mesh		Pipe Type/Sizing	✓	Flashings		Bottom Plates	
Slab Thickening		Backflow Prevention	✓	Brick/Shelf Angle	225	Balcony	
Wastes		Water Isolation Valve	✓	Connections		Hand Rails	
Shrinkage Control		Lagging	✓	½ High Brick Insp.	211	Overflow	
EPS		Pressure Test	✓	Cavity		Penetrations	
Sub Floor	M3	Anti-scald, fitted	✓	Ties		Cavity	
Pile Connections		Soil Pipes	✓	Building Wrap		Parapets	
Bearers		Vents	✓	Penetrations		Window Trim	
Joists		Fire Resistant Lining	M5	Flashings		Building Wrap	
Treatment		Penetrations		Drainage	M6	Sill Tray	
Sub Ventilation		Connections		Bedding		Retaining Wall	212
Sub Insulation		Fixings		Cover		Novacoil	
Preline Building	M4A	Building & Sill Wrap	215	Inspection Points		DPC	
M/C - walls/ceilings %	9.10			F/W → Approved Outfall		DPC Protection	
Framing	✓	Bathroom & Deck Tanking	216	S/W → Approved Outfall		Novacoil connected to sw system	
Grade/Treatment	1			Main Vent Positions			

Comments

linings to ground floor

High lite treads to lower stair & at seating area.

Inspection Bookings Telephone Number: 941 8904 or to book online: www.ccc.govt.nz/building/forms/frmlnspection.asp

Builder:	Craftsman Plumber:	Reg Drainlayer:
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All work inspected is in accordance with the Building Consent. ✓

Some work is not satisfactory as detailed above and rectification is required.

Signed: [Signature] Date: 27.10.04 M4

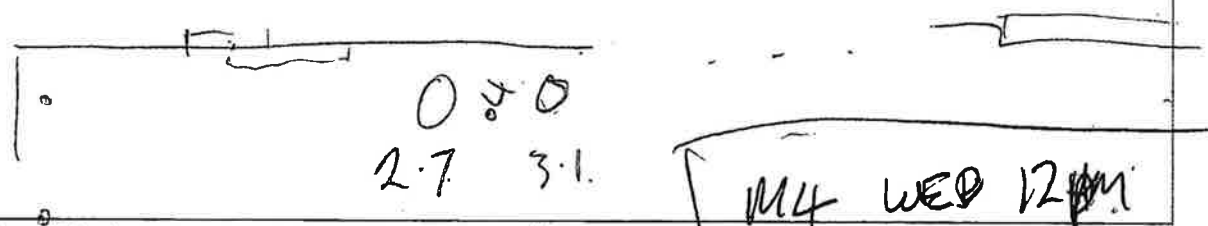
GEOFF OWEN AM.
Jan 2004

<h3 style="margin:0;">SITE INSPECTION REPORT</h3> <p style="margin:0; font-weight: bold;">This is not a Code Compliance Certificate</p>	<p style="text-align: center; font-weight: bold; margin:0;">Key</p> <ul style="list-style-type: none"> R = Rectification - = Not Applicable ✓ = Approved
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 CHRISTCHURCH <small>CITY COUNCIL - ENVIRONMENT</small>	<h2 style="margin:0;">CHRISTCHURCH CITY COUNCIL</h2> <h3 style="margin:0;">BUILDING INSPECTION SERVICES</h3>	PROJECT NO: 100 47885
Site Address: <u>204 Manchester</u>		
Description of Consent: <u>Get out</u>		

Prepour Foundation	M1	Bracing		Concrete Construction	220	Grade	
Siting		Weatherboards		Reinforcing		Water Test	
Levels		Connections		Engineering Reports		Pick-up Completed	
Bearing		Floor Joist Layout		Blockwork Construction	221	Yard Sumps	
Reinforcing		Lintels		Reinforcing		Bubble Up Chambers	
Slab Ties		Insulation Walls		Cleanouts		Pre Stopping	M7
Engineering Report		Insulation Ceilings		Steel Construction	222	Brace Element Fixings	
Surveyors Certificate		Roof Cladding		Beam Size		Fire Lining Fixings	
Sub-floor Drainage	M1A	Ceiling Fans		Connections		Flashings	213
AS 3500 Drainage		Range Hoods		Beam Support		Windows	
Overflow Relief		Bottom Plates		Solid Plaster	224	Doors	
Prepour Slab	M2	Building Wrap		Expansion		Monolithic Cladding	214
Tailings		Engineering Verification		Substrate		System	
DPM		Preline Plumbing	M4B	Control Joints		Fixings	
Mesh		Pipe Type/Sizing		Flashings		Bottom Plates	
Slab Thickening		Backflow Prevention		Brick/Shelf Angle	225	Balcony	
Wastes		Water Isolation Valve		Connections		Hand Rails	
Shrinkage Control		Lagging		1/2 High Brick Insp.	211	Overflow	
EPS		Pressure Test		Cavity		Penetrations	
Sub Floor	M3	Anti-scald, fitted		Ties		Cavity	
Pile Connections		Soil Pipes		Building Wrap		Parapets	
Bearers		Vents		Penetrations		Window Trim	
Joists		Fire Resistant Lining	M5	Flashings		Building Wrap	
Treatment		Penetrations		Drainage	M6	Sill Tray	
Sub Ventilation		Connections		Bedding	✓	Retaining Wall	212
Sub Insulation		Fixings		Cover	✓	Novacoil	
Preline Building	M4A	Building & Sill Wrap	215	Inspection Points	✓	DPC	
M/C - walls/ceilings %				F/W→Approved Outfall	✓	DPC Protection	
Framing		Bathroom & Deck Tanking	216	S/W→Approved Outfall		Novacoil connected to sw system	
Grade/Treatment				Main Vent Positions			

Comments *ground floor toilets under floor AS 3500.*




Inspection Bookings Telephone Number: 941 8904 or to book online: www.ccc.govt.nz/building/forms/frmlinspection.asp

Builder:	Craftsman Plumber: <i>Phil</i>	Reg Drainlayer: <i>CPS</i>
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All work inspected is in accordance with the Building Consent. **Inspection Type**

Some work is not satisfactory as detailed above and rectification is required.

Signed: <i>[Signature]</i>	Date: <i>21.10.104.</i>	<h3 style="margin:0;">SITE INSPECTION REPORT</h3> <p style="margin:0;">This is not a Code Compliance Certificate</p>	Key R = Rectification - = Not Applicable ✓ = Approved
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 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	<h2 style="margin:0;">CHRISTCHURCH CITY COUNCIL</h2> <h3 style="margin:0;">BUILDING INSPECTION SERVICES</h3>	PROJECT NO: 10047885
Site Address: <u>204 Manchester St</u>		
Description of Consent: <u>ATs / Ground / First Floor</u>		

Prepour Foundation	M1	Bracing		Concrete Construction	220	Grade	
Siting		Weatherboards		Reinforcing		Water Test	
Levels		Connections		Engineering Reports		Pick-up Completed	
Bearing		Floor Joist Layout		Blockwork Construction	221	Yard Sumps	
Reinforcing		Lintels		Reinforcing		Bubble Up Chambers	
Slab Ties		Insulation Walls		Cleanouts		Pre Stopping	M7
Engineering Report		Insulation Ceilings		Steel Construction	222	Brace Element Fixings	
Surveyors Certificate		Roof Cladding		Beam Size		Fire Lining Fixings	
Sub-floor Drainage	M1A	Ceiling Fans		Connections		Flashings	213
AS 3500 Drainage		Range Hoods		Beam Support		Windows	
Overflow Relief		Bottom Plates		Solid Plaster	224	Doors	
Prepour Slab	M2	Building Wrap		Expansion		Monolithic Cladding	214
Tailings		Engineering Verification		Substrate		System	
DPM		Preline Plumbing	M4B	Control Joints		Fixings	
Mesh		Pipe Type/Sizing		Flashings		Bottom Plates	
Slab Thickening		Backflow Prevention		Brick/Shelf Angle	225	Balcony	
Wastes		Water Isolation Valve		Connections		Hand Rails	
Shrinkage Control		Lagging		½ High Brick Insp.	211	Overflow	
EPS		Pressure Test		Cavity		Penetrations	
Sub Floor	M3	Anti-scald, fitted		Ties		Cavity	
Pile Connections		Soil Pipes		Building Wrap		Parapets	
Bearers		Vents		Penetrations		Window Trim	
Joists		Fire Resistant Lining	M5	Flashings		Building Wrap	
Treatment		Penetrations		Drainage	M6	Sill Tray	
Sub Ventilation		Connections		Bedding		Retaining Wall	212
Sub Insulation		Fixings		Cover		Novacoil	
Preline Building	M4A	Building & Sill Wrap	215	Inspection Points		DPC	
M/C - walls/ceilings %				F/W → Approved Outfall		DPC Protection	
Framing		Bathroom & Deck Tanking	216	S/W → Approved Outfall		Novacoil connected to sw system	
Grade/Treatment				Main Vent Positions			

Comments

Bob upstairs only
 Earthquake strengthening completed apart from void area.
 WC / Kitchen all piped out (Grease converter)
 OK to proceed
 EPS

Inspection Bookings Telephone Number: 941 8904 or to book online: www.ccc.govt.nz/building/forms/frmlinspection.asp

Builder: <u>Contract Cost</u>	Craftsman Plumber: <u>PBS</u>	Reg Drainlayer:
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All work inspected is in accordance with the Building Consent. Some work is not satisfactory as detailed above and rectification is required.	Inspection Type M4
Signed: <u>Dave Hewell</u> Date: <u>30.9.04</u>	

0774 340724 January 2004	<h3 style="margin:0;">SITE INSPECTION REPORT</h3> <p style="margin:0;">This is not a Code Compliance Certificate</p>	Key R = Rectification - = Not Applicable ✓ = Approved
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ESTIMATE OF CONSTRUCTION INSPECTIONS: Date: 29 September 2004

PROJECT NO. 10047885

DESCRIPTION OF CONSENT: ALTERATIONS TO GROUND AND FIRST FLOOR

SITE ADDRESS: 204 MANCHESTER STREET

INSPECTIONS REQUIRED	No.
205 Pre-line including Plumbing	1
210 M8 Final Inspection	1

The fees for these inspections have been included in the overall building consent fees.

Notes:

1. The above mandatory notice inspections will be carried out by the Council for which one day notice shall be given as required by Regulation 7(1)(b)(i-v).
2. Inspections which are necessary due to non-complying or incomplete work or that rise as a result of a rectification notice are additional, and will be charged at the rate of \$68.00/hour and invoiced separately.
3. ***DESTRUCTIVE INVESTIGATIONS MAY BE REQUIRED IF WORK IS COVERED IN PRIOR TO THE COUNCIL'S INSPECTIONS TAKING PLACE.***

**For all inspection requests pertaining to this consent, please phone 941-8904.
Inspections for the following day must be booked prior to 4pm.**

**Book an inspection by fax - <http://www.ccc.govt.nz/building/forms/Faxtobookaninspection.pdf>
Or Request Form by fax 941-8920**

**Book an Inspection On-Line - <http://www.ccc.govt.nz/building/forms/frmInspection.asp>
If you do not have internet access but would like to request a form, fax your request to 941-8920.**

BUILDING CONSENT CONDITIONS

As at : 29 September 2004

PROJECT NO.: 10047885
DESCRIPTION OF CONSENT: ALTERATIONS TO GROUND AND FIRST FLOOR
SITE ADDRESS: 204 MANCHESTER STREET

The Building Consent is subject to the following conditions, which must be satisfied before the Code Compliance Certificate can be issued:

- The electrical subcontractor and if applicable, the gas subcontractor, is to provide certification of compliance with the Electrical Regulations and the Gas Regulations as applicable upon completion of the work.
- The owner's consultants responsible for inspection of the building works shall provide a statement upon completion of the works to confirm that the appropriate inspections have been conducted and that the building work has been completed to the extent required by the building consent.
- A record of each site visit made by the owner's consultant shall be kept on site, preferably in a folder in the builders shed for reference by City Council Inspectors carrying out audit compliance inspections.
- The HVAC Design and Build Subcontractor shall provide details and an associated Producer Statement Design G4 to Christchurch City Council for approval before commencing work and a Producer Statement Construction G4 upon satisfactory completion of commissioning testing.
- As built plans and details, and an associated Producer Statement Design and Construction of dumb waiter and Test Loading Certificate from an appropriate testing body.

CONSENT PROCESSING REVIEW SHEET

PROJECT APPLICATION NO. 10047885

DATE: 2 / 8 / 04


Alterations to Ground - First Floor
204 Manchester St

	Architectural	Fire Safety	Structural	Civil	Mechanical	Plumbing & Drainage	Health & Safety	Electrical
GENERAL PROVISIONS								
A1 Classified uses								
A2 Interpretation								
STABILITY								
B1 Structure								
B2 Durability								
FIRE SAFETY								
C1 Outbreak of fire								
C2 Means of escape								
C3 Spread of fire								
C4 Structural stability during fire								
ACCESS								
D1 Access routes								
D2 Mechanical installations for access								
MOISTURE								
E1 Surface water								
E2 External moisture								
E3 Internal moisture								
SAFETY OF USERS								
F1 Hazardous agents on site								
F2 Hazardous building materials								
F3 Hazardous substances and processes								
F4 Safety from falling								
F5 Construction and demolition hazards								
F6 Lighting for emergency								
F7 Warning systems								
F8 Signs								
SERVICES AND FACILITIES								
G1 Personal hygiene								
G2 Laundering								
G3 Food preparation and prevention of contamination								
G4 Ventilation								
G5 Interior environment								
G6 Airborne and impact sound								
G7 Natural light								
G8 Artificial light								
G9 Electricity								
G10 Pipes services								
G11 Gas as an energy source								
G12 Water supplies								
G13 Foul water								
G14 Industrial liquid waste								
G15 Solid waste								
ENERGY EFFICIENCY								
H1 Energy efficiency								

Handwritten notes and signatures:

- Vertical signature on the right side of the table.
- Signature "R" in the Mechanical column for G4.
- Signature "JAS" in the Health & Safety column for G3.
- Signature "M. G. 10/04" in the Electrical column for G15.
- Signature "M. G. 10/04" in the Electrical column for G14.

split for PIM check.

 <p>CHRISTCHURCH CITY COUNCIL: ENVIRONMENT</p>	<p>CHRISTCHURCH CITY COUNCIL</p> <p>APPLICATION FOR BUILDING CONSENT</p>	<p>FORM: BA3</p> <p>PROJECT NO: 10047885</p>
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PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)

Has a Project Information Memorandum been issued for this project? No Yes ⇒ Project No.: 10047011

APPLICATION DETAILS [_____]	PROJECT DETAILS [_____]
<p>OWNER (as defined by the Building Act 1991)</p> <p>Full Name(s): <u>Extreme Ltd</u> (815453)</p> <p>Street Address: <u>200 Manchester St</u></p> <p>Mailing Address: _____</p> <p>Phone: <u>03-2661391</u> Fax: <u>2662071</u></p>	<p>LOCATION</p> <p>Street Address: <u>200 Manchester St</u></p> <p>Lot: <u>5-7</u> DP: <u>1911</u></p> <p>Other: <u>CHRISTCHURCH</u></p>
<p>APPLICANT (Must be authorised by the owner to make this application)</p> <p>Name: <u>Bob PELHAM</u></p> <p>Company: <u>Extreme Ltd</u></p> <p>Mailing Address: <u>As Above</u></p> <p>Street Address: _____</p> <p>Phone: _____ Fax: _____</p>	<p>DESCRIPTION OF WORK:</p> <p><u>Alterations GF</u></p> <p><u>FF</u></p>
<p>Estimated Value of proposed work (Inclusive of GST):</p> <p><u>\$ 500,000.00</u></p> <p>Building Consent to be uplifted from:</p> <p><input type="checkbox"/> _____ Service Centre</p> <p><input type="checkbox"/> If prepaid post to Owner / Applicant (delete one)</p>	<p>INTENDED USE:</p> <p><u>Licensed Premises</u></p> <p>Will the building undergo a change of use?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>
<p>Water Supply</p> <p>Is a new supply required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Residential / Commercial (DELETE ONE)</p> <p>If commercial, has estimate been obtained from the Council? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Distance from LH / RH boundary (looking from street) _____ metres Nominate street if a corner site:</p>	<p>INTENDED LIFE if less than 50 years: _____ years</p> <p>Being stage <u>1</u> of an intended <u>1</u> stages</p>
<p>Road Opening / Footpath Opening</p> <p>Is an opening required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Select type of service: Sewer / Stormwater</p>	<p>FLOOR AREA</p> <p>Ground Floor: Existing <u>632</u> m² Add _____ m²</p> <p>Other Floor: Existing <u>425</u> m² Add _____ m²</p> <p>Accessory Building Area:</p> <p>Existing _____ m² Add _____ m²</p>
<p>Planning - Site Coverage</p> <p>Total area of all buildings over foundation at ground level.</p> <p>Existing _____ m² Proposed _____ m²</p>	<p>Vehicle Crossing (in relation to this Building Consent)</p> <p>Is a vehicle crossing required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Select: New / Extension / Residential / Commercial</p>

SECTION 1

FOR COUNCIL USE ONLY

<p>Prepaid Fee: \$ <u>400 -</u></p> <p>Receipt No: <u>AE6000</u></p> <p>Receiving Officer's Name: <u>Jueland</u></p> <p>Date Received: <u>21/8/14</u></p>	<p>DRAINAGE INFORMATION</p> <p>Block Plan <input type="checkbox"/> Full PIM <input type="checkbox"/> N/A <input type="checkbox"/></p> <p>Date Requested: _____</p>
<p>HAZARDS: _____</p>	<p>CATS WBS CODE</p> <p>401/ 136</p>

Have you provided the following information?

Please tick the appropriate box

PIM ISSUED

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)	✓		
• Certificate of Title: Recent search copy of (less than 6 months old)		PIM ISSUED	
• Plans & specification of an acceptable standard	✓		
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)	✓		
• Recession planes (including to internal boundaries) indicated		NA	
• Site levels relating to top of roadside kerb, and finished floor level indicated		EXISTING	
• Hill sites: Indicate contours, drive gradients and building heights		NA	
• Site boundaries nominated		NA	
• Shared access ways/other areas		NA	
• Foulwater drains	✓		
• Stormwater drains	✓		
• Stormwater discharge for hardstanding areas detailed to an approved outfall		NA	
• Water Service Details		EXISTING	
• Vehicle crossing position indicated on site plan		NA	
• Vehicle access manoeuvre and parking area indicated		NA	
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access		N/A	
• Site area per unit indicated		NA	
• Site coverage: % details		NA	
• Living and service courts indicated		NA	
• Landscaped area indicated and planting plan produced		NA	
• Demolition Details	✓		
• Swimming pool: design, fence and discharge		NA	
• Backflow prevention	✓	SPECS	
• Waterway setbacks indicated		NA	
• Notable and protected site trees indicated		---	
• Heritage site or building affected?		---	
• Resource Consent Application		---	
• Development Application		---	
• Subdivision details		---	

SECTION 3	Yes	No	N/A
• Structural drawings	✓		
• Foundation design and report on ground conditions	✓		
• Blockwork: design including foundations	✓		
• Retaining walls: design heights, position, sub soil drainage and safety barriers		---	
• Fire partitions: dividing walls, common walls	✓		
• Window positions & opening windows indicated	✓		
• Safety glass provisions specified		---	
• Thermal insulation and R value indicated	✓		
• Sound insulation indicated		---	
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details	✓		
• Solid fuel heater: make, model and location		---	
• Accurate layout & details of plumbing systems	✓		
• Alternative Solutions details		---	
• Access and facilities for people with disabilities	✓		
• Access Route Details	✓		
• Dangerous goods: storage and sign details		---	
• Gas bottle: storage location and capacity if over 10kg		---	
• Soakpit, septic tank and pumping station design details.		---	
• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved		---	
• Specifications in duplicate	✓		
• Pegging certificate for two or more units on site		---	
• Bracing calculations and layout	✓		
• Roof truss design statement and layout		---	
• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229		Lewis Dunn	
• BA20 form (Producer Statement information)		---	
• Fire Safety Summary or Fire Design Statement	✓	Cosgrove Mason	
• Compliance Schedule details		---	

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? Yes No

If yes briefly describe your proposed programme: _____

Estimated start date: Aug 2004 (please note building work must be started within 6 months of Consent issue date)

Estimated finish date: Nov 2004

- Is a registered engineer involved?
 - For design Yes No
 - For inspection Yes No
- Is a Producer Statement to be offered?
 - Producer Statement: Design Yes No
 - Producer Statement: Inspection Yes No

Is a registered master builder involved in the project? Yes No
Contract Construction Name (optional)

SECTION 4

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS

Please tick the relevant boxes to show which systems are included or to be included in the building project

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(c) Emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(d) Emergency lighting systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(e) Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>
(f) Riser mains for fire service use	<input type="checkbox"/>	<input type="checkbox"/>
(g) Any automatic backflow preventer connected to a potable water supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(h) Lifts, escalators, or travelators or other similar systems	<input type="checkbox"/>	<input type="checkbox"/>
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(j) Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code <u>Drinking Water</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(k) Building maintenance units for providing access to the exterior and interior walls of buildings	<input type="checkbox"/>	<input type="checkbox"/>
(l) Such signs as are required by the building code in respect of the above mentioned systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NONE OF THE ABOVE	<input type="checkbox"/>	<input type="checkbox"/>

SECTION 5

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

	EXTG	NEW
(m) Means of escape from fire	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(n) Safety barriers	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 47a of the Building Act 1991	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(p) Handheld hoses for fire fighting	<input type="checkbox"/>	<input type="checkbox"/>
(q) Such signs as are required by the building code or section 47a of the Building Act 1991	<input type="checkbox"/>	<input type="checkbox"/>

SECTION 5A

SECTION 6

Builder's Name: Contract Construction Phone: 3796277
Address: _____ Fax: _____

Building Certifier's Name: - Phone: _____
Address: _____ Fax: _____

Plumber's Name: John Riggs CPS + Phone: 3795887
Address: _____ Fax: _____

Drainlayer's Name: CPS + Phone: _____
Address: _____ Fax: _____

Engineer's Name: Lewis + Barrow Phone: 3664320
Address: _____ Fax: _____

Designer's Name: RM Design Phone: 3658686
Address: _____ Fax: _____

SECTION 7

Have you fully completed:

	YES / NO / NA		YES / NO / NA		YES / NO / NA
Section 1	<input checked="" type="checkbox"/>	Section 4	<input checked="" type="checkbox"/>	Section 6	<input checked="" type="checkbox"/>
Section 2	<input type="checkbox"/>	Section 5	<input type="checkbox"/>	Section 7	<input type="checkbox"/>
Section 3	<input type="checkbox"/>	Section 5A	<input type="checkbox"/>		

- IF THIS PROJECT CONSTITUTES A DEVELOPMENT PURSUANT TO SECTION 409 OF THE RESOURCE MANAGEMENT ACT 1991, THEN THIS APPLICATION IS ALSO DEEMED TO BE A NOTIFICATION BY THE OWNER OF A RESOURCE CONSENT APPLICATION FOR A DEVELOPMENT.
- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- **Building Consent Fees**
 The charges incurred by the Council in processing this application are payable whether or not the project proceeds. Note: Fees for some minor works (eg drainage only works, detached accessory buildings with a value of less than \$5,000) are required to be paid at the time of application.
- I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION

Print Name: Mr Rob Pelham Date: 30-7-04

Signature: [Signature]
 SIGNED BY or FOR AND ON BEHALF OF THE OWNER

Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the following centres, where there are Building Information Officers available to assist you.

Civic Offices 163-173 Tuam Street PO Box 237 Telephone 371 1995 Fax 371 1792	Linwood Service Centre 180 Smith Street PO Box 24 214 Telephone 389 1477 Fax 372 2839	Sockburn Service Centre 149 Main South Road PO Box 11 011 Telephone 348 5119 Fax 372 2539
---	--	--

Project Information Memorandums (PIMs) and Building Consents can also be lodged and uplifted at these Service Centres.

Beckenham Service Centre 66 Colombo Street PO Box 12-033 Telephone 332 3099 Fax 332-3443	Fendalton Service Centre Cnr Jeffreys & Clyde Roads PO 29183 Telephone 351 7109 Fax 372.2748	Papanui Service Centre Cnr Langdons Rd & Restell St PO Box 5142 Telephone 352 8117 Fax 352 1308	Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224
---	---	--	---

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

Warren R. Lewis BE (Hons) MIPENZ CPEng. ANZIM
 Stephen W. Barrow BE (Hons) MIPENZ CPEng.



LEWIS & BARROW LTD
 Consulting Civil and Structural Engineers:

183 Hereford Street
 P.O. Box 13-282
 Christchurch
 New Zealand
 Telephone (03) 366-4320
 Fax (03) 365-7069
 Email eng@lewisandbarrow.co.nz
 www.lewisandbarrow.co.nz

PRODUCER STATEMENT - DESIGN

Issued By: **Lewis and Barrow Ltd** File No. **12646**
 Design Engineer : **Warren Lewis**
 To: **Christchurch City Council**
 In Respect Of: **Structural Strengthening**
 At: **204 Gloucester Street**
Lot 5 DP 1911

Lewis & Barrow Ltd has been engaged by Extreme Ltd Trading As Iconic to provide the structural design of steelwork, foundations, bracing, bolting, securing, truss strengthening and balusters in respect of the requirements of Clause B1 of the Building Regulations 1992 for those parts as specified above of the building work. The design has been prepared in accordance with B1/VM1 the approved documents issued by the Building Industry Authority and the work is described on Lewis & Barrow Ltd drawings titled Proposed Structural Strengthening - Cue Time Manchester Street numbered 12646/1 to 6 and dated 11/08/04 and according to which the building is proposed to be constructed.

As an independent design professional currently a member of the Association of Consulting Engineers of N.Z., I believe on reasonable grounds that subject to:

- (i) the site verification of the following design assumptions - the ground supporting foundations has an ultimate bearing capacity of at least 300kPa,
 - (ii) all proprietary products meeting the performance specification requirements,
 - (iii) the Project Information Memorandum (PIM) for the site not revealing any adverse site conditions,
- and (iv) all work not otherwise specified being in compliance with N.Z.S.3604:1999,

the drawings according to which those parts as specified above of the building are proposed to be constructed, comply with the relevant provisions of the building code.

Warren R Lewis
 B.E. (Hons) MIPENZ CPEng. ANZIM

Date 11 August, 2004
 CPEng Ref. No 33543
 Member ACENZ, IPENZ

Director - Lewis & Barrow Ltd.

Inspections of the structure

The following inspections of the structure will be required to verify compliance with the appropriate New Zealand Standards and the design assumptions.

Engineers inspections by Lewis and Barrow Ltd.

1. Before each concrete pour.
2. Before grouting bolts in.
3. Before closing in any structural work.

Inspections by a Building Inspector or Building Certifier.

1. Inspections required by the Local Authority to verify compliance with the New Zealand Building Code.

Rex

Warren R. Lewis BE (Hons) MIPENZ CPEng. ANZIM
Stephen W. Barrow BE (Hons) MIPENZ CPEng.



LEWIS & BARROW LTD
Consulting Civil and Structural Engineers:

183 Hereford Street
P.O. Box 13-282
Christchurch
New Zealand
Telephone (03) 366-4320
Fax (03) 365-7069
Email eng@lewisandbarrow.co.nz
www.lewisandbarrow.co.nz

11 August, 2004

10067885

Christchurch City Council
PO Box 237
CHRISTCHURCH

File No. 12646

ATTENTION: John Taylor

Dear Sir

Re: Bar/Pool Hall Alterations – 204 Manchester Street

Further to your fax of 03 August 2004 I enclose our Producer Statement – Design together with 3 sets of revised plans.

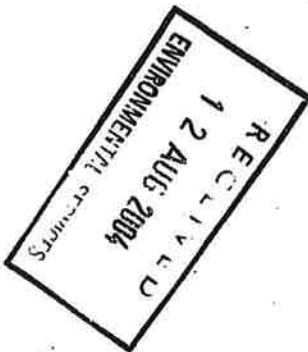
These revised plans need to replace the sets you already have as we have made several corrections and have added details for construction clarity.

Yours faithfully

Warren R. Lewis
Engineer

Encl.

copy Bob Pelham
Extreme Ltd



Extreme Ltd
200 Manchester Street
Christchurch

Ph: 366 1391
Fax: 366 3071

Senior Building Control Engineer
Christchurch City Council
P.O. Box 237
Christchurch

Attn: John Taylor

Dear Sir,

Re: Application for Building Consent (Project No. 10047885)

Re your letter dated 3 August 2004 regarding the additional information required for Building Consent; we have the following information:

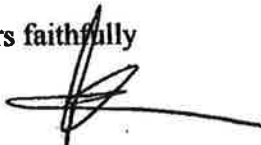
- (1) Calculations re structural design have been completed and have been delivered to City Council by Warren Lewis of Lewis & Barrow.
- (2) Mechanical services are to be completed by Climatech. Attached is their letter outlining the work which they will undertake and are at present completing full working drawings for our project. *and to*

As you will understand, air conditioning companies are in big demand and they have asked me to forward the accompanying letter in the hope that it will not hold up our building consent.

- (3) We wish to confirm that Cosgrove Major Consultants (Fire Engineers) will be undertaking the monitoring of the fire safety work during construction.

I trust the above is the information you require. If you have any queries, please do not hesitate to contact me.

Yours faithfully



(Bob Pelham)

*4 P.
at*



CHRISTCHURCH CITY COUNCIL

FACSIMILE MESSAGE

TO: Bob Pelham
 ORGANISATION: Extreme Limited.
 ADDRESS

FAX NO.: 366 3071

SENDER: John Taylor
 DESIGNATION: Senior Building Control Engineer

E-MAIL: John.Taylor@ccc.govt.nz
 DATE: 3 August 2004
 NO. OF PAGES (including this page): 1

Dear Sir/Madam

APPLICATION FOR BUILDING CONSENT
PROJECT NO. 10047885
BAR / POOL HALL ALTERATIONS : 204 MANCHESTER STREET

Processing of your application has shown the need for further information as detailed below:

- Calculations or a Producer Statement (in the NZIA/ACENZ type format) from an appropriately qualified person for structural design.
- Mechanical services details and appropriate design certification. *conclude*
- Council considers that the nature of this project makes it appropriate that the fire engineer monitors the fire safety work during construction. This would enable Council to base its approval of the work on receipt of a Producer Statement (construction review) from the fire engineer without Council making its own comprehensive inspections. Please confirm.

Please ensure that all amended and/or new documents are provided in duplicate, (or triplicate if planning matters are involved). Any changes/amendments made to the drawings should be highlighted with clouds or other means to allow easy identification of the changes.

The above matters result from partial processing of your project. Other officers may have queries relating to the balance of the work.

An early response will assist in completion of consent processing with minimum delays.

Yours faithfully


 John Taylor
 SENIOR BUILDING CONTROL ENGINEER
 BUILDING CONTROL TEAM

PLEASE ADVISE BY FAX IF ALL PAGES NOT RECEIVED

Fax No 03-941-8920 or International Fax No +64-3-941-8920 (Building Control Team)

Civic Offices • 163-173 Tuam Street • PO Box 237 • Christchurch • New Zealand • Telephone (03) 941-8995

Telephone: John Taylor 941-8401 • email: John.Taylor@ccc.govt.nz

 CHRISTCHURCH <small>CITY COUNCIL - ENVIRONMENT</small>	CHRISTCHURCH CITY COUNCIL BUILDING CONTROL CONSENT TIME RECORD SHEET	BC5
---	---	------------

Occupant Numbers: []

FOR PROJECT NO:

WBS	4011/136
10091885	

UPLIFT CENTRE:

CLVIC

BUILDING VALUE

\$ 500,000

PIM required

Res Con required

Landscape Plan copied

BUILDING CONSENT CONDITIONS

204 Manchester Street.

1	2	4															OTHERS:
																	<input checked="" type="checkbox"/>

PERSONNEL TIME AND FEES

Name	DD	2	3	5	6	16	18	13	21	22	23	24	Total Time	\$ Rate	Fee (Hrs x rate)
	MM	8	8	8	8	8	8	9	9	9	9	9			
	YY	04		04	04	04	04		04	04	04	04			
Pit		0.3			0.2		0.3						0.8	70.00	72.00
RT			1.2			0.4		0.4					2.0	70.00	180.00
Grant				1/2									0.25	70.00	17.50
SNS						0.3							0.3	70.00	21.00
Hubert								1.0	1.5	1.5	1.5	1.5	5.5	70.00	385.00
													Sheet 2		105.00
Administration Charge															\$90.00
CT (Certificate of Title)															
Consultants Fees (if Applicable)															
Total Process and Grant *															870.50

Process & Grant	
- Paid:	245.00
- Cost:	870.50
Balance:	625.50
Grant & Issue Code Compliance Cert	\$45
Building Research Levy	500.00
Building Industry Authority Levy	325.00
Compliance Schedule	80.00
Inspections 2	117.00
Total A	1692.50

Minor Residential	
Type	
Fee	
Receipt	
Additional Fees	
Processing	\$400 Pre-paid
Inspections	PIM
Other from above	Accept / Issue 155.00
Total to Pay	\$ 245.00

- HCS Heathcote Cost Sharing
- LAT Sewer Lateral Fee
- MOE Memo of Encumbrance
- RCC Reserve Contribution **2500.00**
- RCS Reserve Contribution
- S36 Section 36 (2)
- S37 Section 37 (2)
- SEW Sewer Opening
- STW Stormwater Opening
- VCI Vehicle Crossing Inspection
- WAL Water Supply Headworks
- WAS Sewer Cost Sharing
- WAT Water Cost Sharing
- WAU Stormwater Cost Sharing
- WCN Water Connection
- WST Treatment Plant Upgrade
- WRU Waste Water Reticulation

Total B 2500.00
PLUS Total A 1692.50
FINAL TOTAL 4192.50

COPIED FOR RATES

Name	DD	27	28							Total Time	\$ Rate	Fee (Hrs x rate)
Pump	MM	9	9							1.5	70.00	105.00
	YY	04	04									
		0.5	1.0									
Sheet 2												105.00



APPLICATION NUMBER

100417825


SUBJECT TO:-

As Built & an assoc. Producer Statement
 Plans and details of dumb units
 and test loading Certificate
 from an appropriate testing
 body.

Re HVAC Design & build etc

The HVAC Design & Build Subcontractor
 shall provide details of an associated
 Producer Statement Design G4 to
 all for approval before commencing
 work and a Producer Statement
 Construction G4 upon satisfactory
 completion of commissioning testing



 ENVIRONMENTAL SERVICES UNIT GENERAL CONSENT PROCESSING CHECK SHEET (OTHER THAN HOUSING)		RFI No.
	Section 35: Resource Consent	—
100	36: Land Subject to erosion, etc C1	—
101	2+ Allotments: Sect 37 / Amalgamation C53 C54	—
102, 103 104, 303	38: Building Alterations	✓
515	46: Changes of Use	—
	66: Earthquake Prone	—
109, 110	PIM Problems Resolved / Not available	✓
111	Value	✓
112	CT	—
114	Subdivision Conditions Certificate Issued	—
	Reserve / Development Fee	✓
115	Pegging Certificate (2+ Units on 1 title)	—
501/117	Producer Statements C2, 4	✓
116/118	Producer Statement Scope	✓
502	Inspection Procedures / Credits	✓
503/504	Engineer signed set drawings / Confirmation	—
104	Structural check of existing building	—
	Compl Schedule & Fee	✓
	Copy of Schedule and BA3 to Bldg Support	✓
	Hill Site / Retaining walls / Hazards	—
120	Demolition C22	—
121/122	Specifications / Plans	✓
123/124	Site Plan to scale / Internal boundary positions	✓
125/126	Site levels kerb / Site levels datum	✓
127	Flood prone site MIN FFL.....	—
128	Floor Levels: Masonry 150 (FGL) 100 (Paving)	—
	Other 225 (FGL) 150 (Paving)	—
505	Foundations: Soils OK / Request Report C49	—
	Copy Report to Hazard File	—
132	Wall and footing size / Reinf C24	—
133	Post foundations 3604 section 9	—
	Slab: Ties/DPC/Mesh/Joints	—
135	Tanking: Wall DPC: Top edge sealing	—
136	Blockwork: Steel & foundations 4229	—
	Subfloor: see Housing checksheet	—
	Durability:	
	Zone 1 exposed Bolts – Galv + Add protection	—
	Steel plates – Galv. + paint	—
	Conc founds - 20 MPa	—
	Seaspray Zone Steel fixings - SS	—
	Brick veneer ties & lintels - SS	—
	Conc founds - 25 MPa	—
	Timber Species & Treatment / Window reveals	✓
-142/143	Walls: Sizes: Lintels / Beams / Studs	—
144	Cantilevers: Joists / Lintels	—
145/146	Offset Loadbearing Walls / 1st floor joists	—
147/-	Roof: Truss Design & Layout / Rafters C10	—
148	High Points: Loads on Lintels 3604 C 8.6.1.4	—
	H3 ply to unventilated skillion roofs	—
150	Bracing – Wind zone	—
	Dragon Ties/Ceiling Diaphragms	—
151	Insulation: Floor/Wall/Clg	—
	Energy Efficiency H1	—
152	Sound Insulation G6 / City Plan Noise	—
153/154	Claddings - Brick C52	—
156	- Plaster systems, Cert / Type C50	—
158	- Solid plaster C51	—
	- Other	—
160	Window / cladding flashings / Sealants	—
161	Roofing type & pitch	—
162	Internal Gutters: Size and overflows	—
163	Snow boards E2.3.1 > 30m above sea level	—
164	Downpipes E1/AS1/Table 5	—
301	Fire Codes - SR - Refer to Fire Safety	} Five papers
	- SH - Escape 24m dead end	
306	- FRR 1m off boundary	
	- Fire wall fixings / battens	
	Access Routes / Landings / Headroom	✓
166	Anti-slip D1/AS1/Table 2	Q
167	Stairs/Accessible: Tread 310+ Riser 180-	Q
	Common & Main Pvt: Tread 280+ Riser 190-	—
	Sec Pvt: Tread 250+ Riser 200-	—
	Minor Pvt: Tread 220+ Riser 220-	—
168	Step details / all handrails	Q
169	Barriers B1/AS2 and F4 / Window sill heights	Q
170	Accessible facilities checksheet – IS3	Q
171	Accessible Parking / External Routes / Entry	Q
172/173	Ramp entry / Internal routes	Q
174	Accessible Toilet / Shower Facilities G1	—
175/-	Ventilation E3 and G4 / Natural light G7	—
	Safety Glass F2 & NZS 4223: (non-residential)	—
518/519	Electricity G9	—
177/178	Laundry Space / Kitchen Space	—
179	Sanitary Fixtures G1 - Numbers, Privacy,	} Q
181	Security, WC space	
184	Woodburner / Flue height	—
	Gas storage over 100 kg	—
-185	Water storage (OPH) G12/AS1/3.1 / Well water	—
186	Backflow prevention	—
	Easements: Drains in, Buildings Over	—
187-189	Discharge: Septic tanks	—
-190	Wastes & Vents / Foul Drains	Q
191	Stormwater Drains / Outfalls C6	—
193/194	Surface water / Channel C85	—
	S W Sumps/ Subsoil drains-sump	—
197	Common Drains	—
490-498	Pools: fences, backflow, discharge C74	Q
	Highlight sheet - AltN Sol, Sect 35, Unusual items	—
199	Partial Processing	Q

✓ = OK

A = Documents Amended

Q = Queried

- = Not Applicable

Refer to Amendments Sheet for those items that should be amended on plans.

 CHRISTCHURCH <small>CITY COUNCIL · ENVIRONMENT</small>	CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 BUILDING CONSENT	FORM: BA4
		PROJECT NO. 10047885

PROJECT LOCATION AND DESCRIPTION

Street Address: 204 MANCHESTER STREET, CITY, CHRISTCHURCH 800
Description of Work: ALTERATIONS TO GROUND & FIRST FLOOR

SEE CONDITIONS

Legal Description: LOT 5 DP 1911

Valuation Roll : ~~22700-21600~~

OWNER/APPLICANT

Name: CLAXTON INVESTMENTS LIMITED

Mailing Address: BOB PELHAM
EXTREME LTD

200 MANCHESTER STREET

Contact:

PROJECT DETAILS

Type description:

Additions & Alteration

Intended life:

Indefinite, but not less than 50 years

Intended uses(s):

Restaurant, Bar, Tavern, Cafe

Estimated value (inclusive of GST): \$ 500000.00

Application Received: 02/08/2004

This Building Consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty nor permit any breach of any other Act.

Please note that your Building Consent will lapse if work has not commenced within six months of its date of issue or if reasonable progress has not been made within twelve months after work has commenced, unless an extension of time has been approved by the Council.

This Building Consent is issued subject to the conditions specified in the attached pages (if any) headed 'Conditions of Project No.: 10047885'

Signed for and on behalf of the Council:

Name: _____

Position: _____


PHILIP HECTOR
Building Consent Officer

Date: 29/09/2004

APPENDIX 3

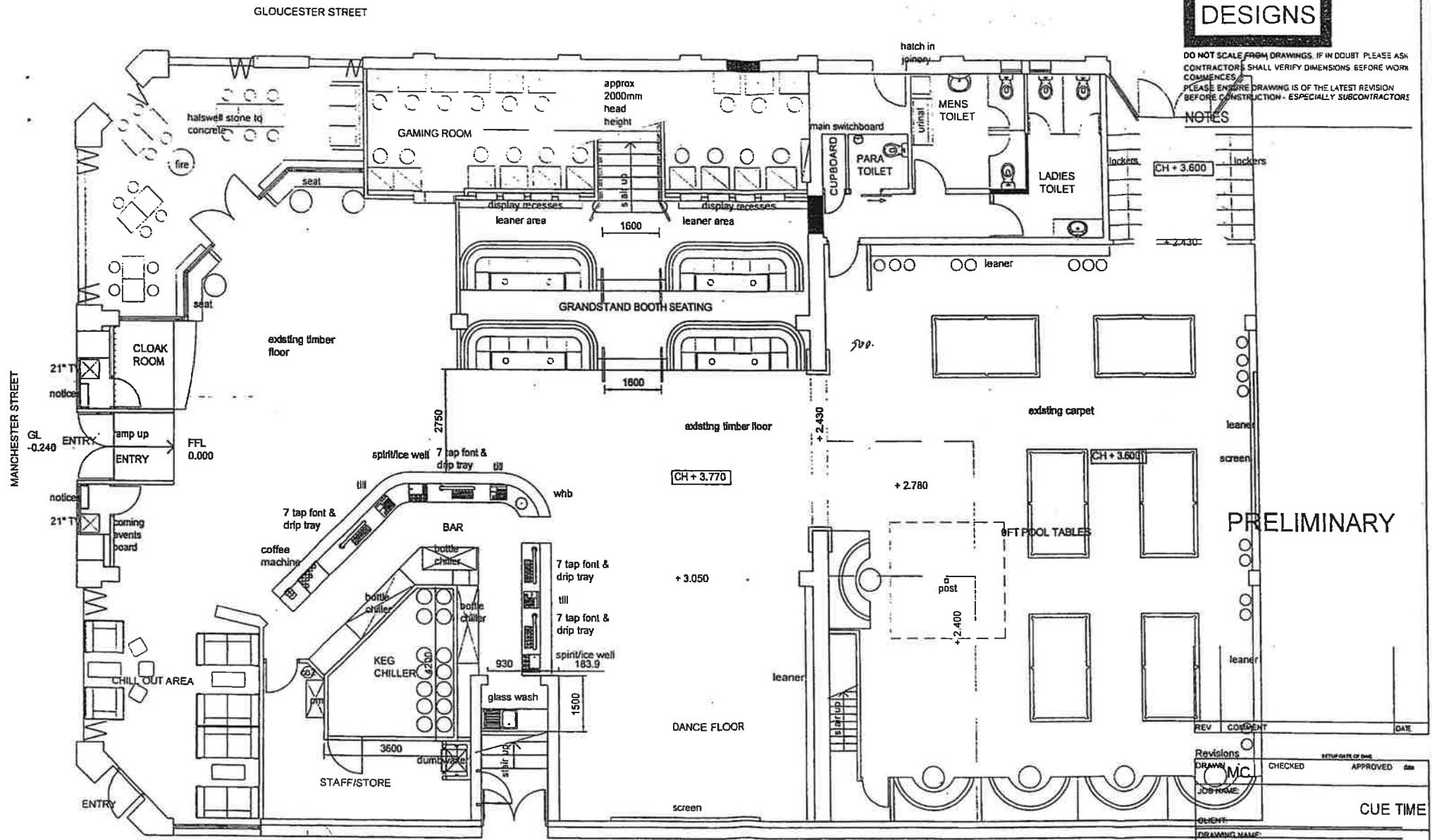
SITE PLAN

Abstract: Attached is a reduced part copy of the site plan for Cue Time, showing the general layout of the building and the proposed new internal alterations.



DO NOT SCALE FROM DRAWINGS. IF IN DOUBT PLEASE ASK CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES. PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS

NOTES



PRELIMINARY

REV	COMMENT	DATE

Revisions		RETURN DATE OF DRAW
DRAWN	CHECKED	APPROVED
JOB NAME		DATE
CLIENT	CUE TIME	
DRAWING NAME		

PROPOSED GROUND FLOOR PLAN
1:100

PROPOSED GROUND FLOOR PLAN
SCALE: 1:100
DATE: June 2004 Dwg No: Rev No:

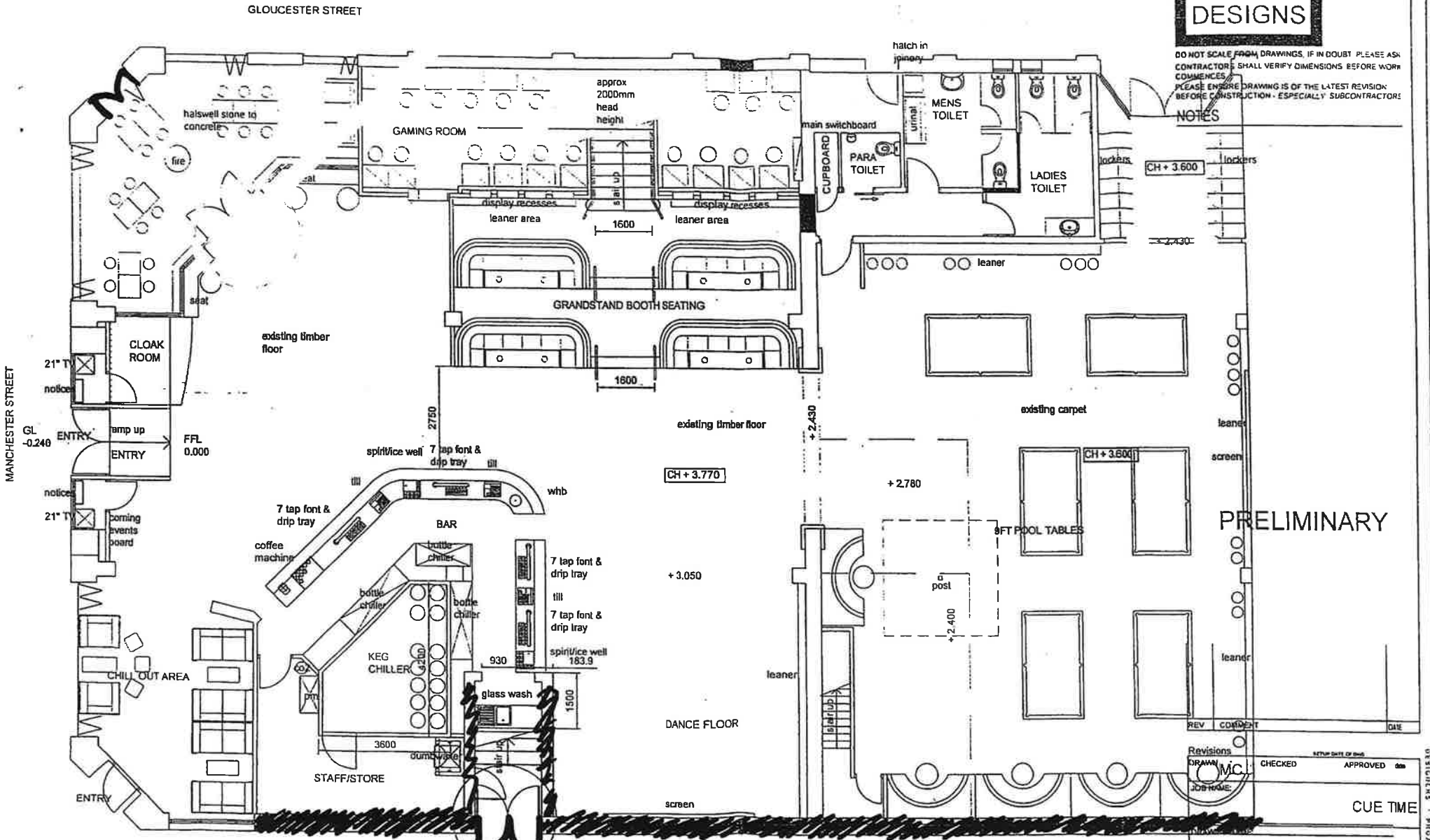
P O Box 8138 Christchurch New Zealand
Phone 03 365 8686 Fax 03 365 8667
rmdesigns.co.nz

MAN200.0004.105



DO NOT SCALE FROM DRAWINGS. IF IN DOUBT PLEASE ASK CONTRACTOR TO VERIFY DIMENSIONS BEFORE WORK COMMENCES. PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS!

NOTES



PRELIMINARY

REV	COMMENT	DATE

Revisions	DATE OF REV
DRAWN: CMC	CHECKED: []
JOB NAME:	APPROVED: []

CUE TIME

PROPOSED GROUND FLOOR PLAN 1:100

PROPOSED GROUND FLOOR PLAN

90 MINUTE FRR

REVERSE SWING

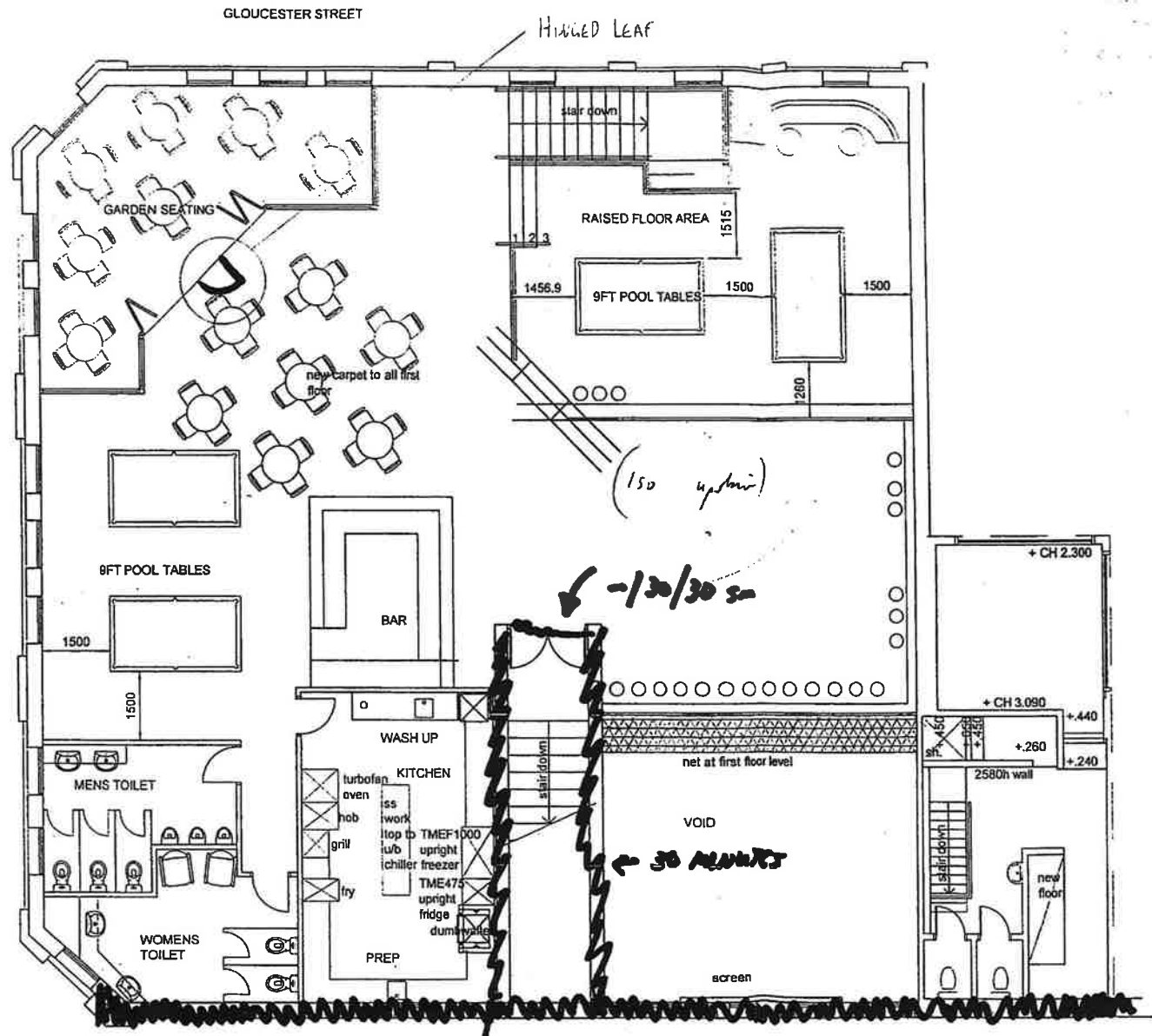
SCALE:	1:100
DATE: June 2004	Rev No:

P.O. Box 8138 Christchurch New Zealand
Phone 03 365 8685 Fax 03 365 8667
rmdesigns.co.nz



DO NOT SCALE FROM DRAWINGS. IF IN DOUBT, PLEASE ASK CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES. PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS

NOTES



PROPOSED FIRST FLOOR PLAN 1:100

90 MINUTE FRR

PRELIMINARY

REV	COMMENT	DATE

Revisions		SETUP DATE OF DWG
DRAWN	MC	CHECKED APPROVED date
JOB NAME:	CUE TIME	
CLIENT:		
DRAWING NAME:	PROPOSED FIRST FLOOR PLAN	
SCALE:	1:100	
DATE:	Dwg No:	Rev No:
June 2004		

PO Box 8138 Christchurch New Zealand Phone 03 365 8686 Fax 03 365 8687 rmdesigns.co.nz

REVISIONS - PROJECT DRAWING

CHRISTCHURCH CITY COUNCIL
Rec'd 02 AUG 2004
LIVIC UNIT
Application No. 10047885

10047885

CHRISTCHURCH CITY COUNCIL
[Signature]
CONSENT DOCUMENT
28 SEP 2004
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications

10047885 COPY

CUE TIME, CHRISTCHURCH

30 JUL 2004



Retail Mechanix Ltd Trading as:
RIMDESIGNS
PO BOX 8138 CHRISTCHURCH PH 365 8686 FAX 365 8687

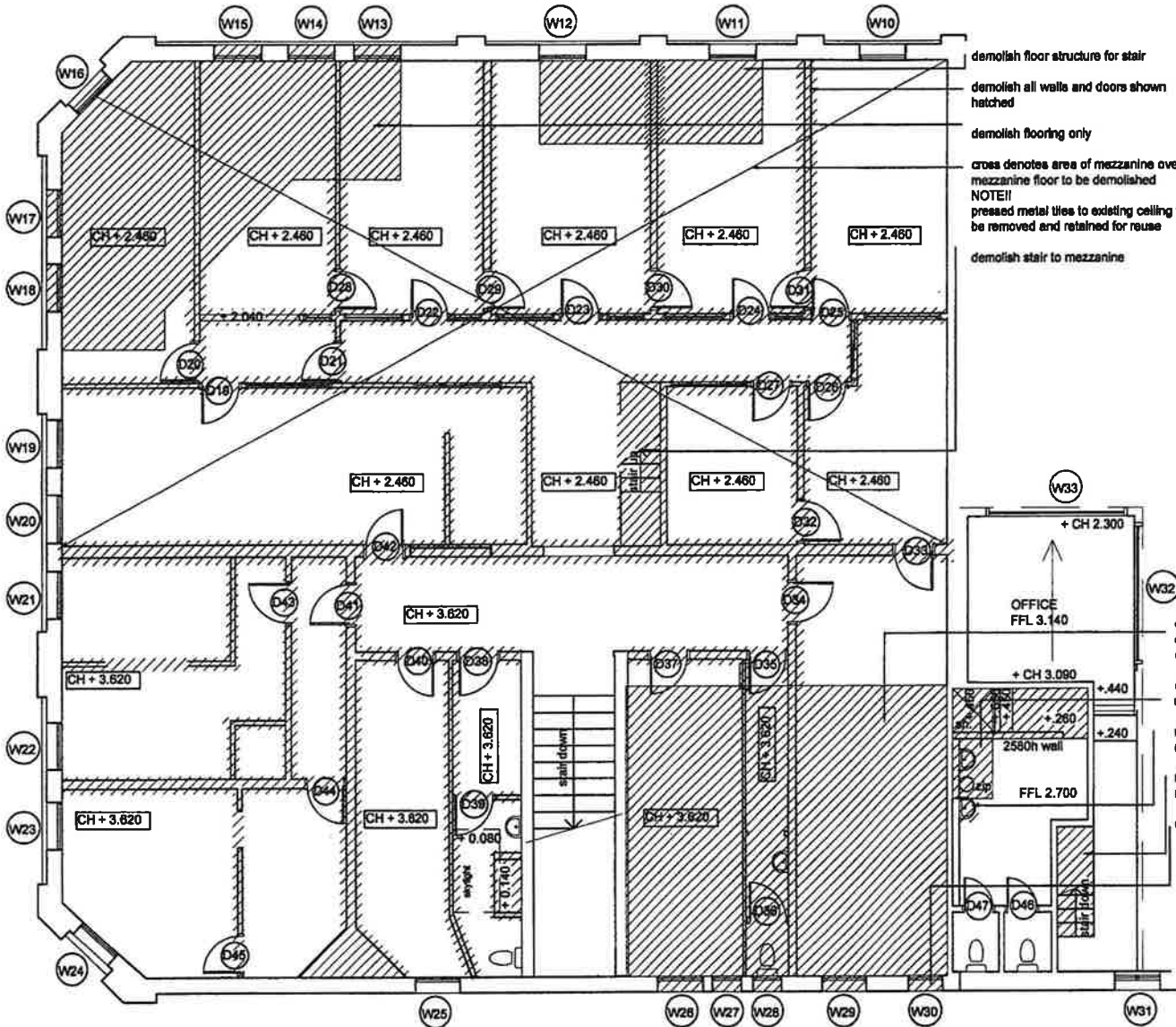
RETAIL DEVELOPMENT GROUP



DO NOT SCALE FROM DRAWINGS, IF IN DOUBT, PLEASE ASK.
 CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES.
 PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS.

NOTES

- demolish floor structure for stair
- demolish all walls and doors shown hatched
- demolish flooring only
- cross denotes area of mezzanine over mezzanine floor to be demolished
- NOTE!! pressed metal tiles to existing ceiling to be removed and retained for reuse
- demolish stair to mezzanine



EXISTING FIRST FLOOR PLAN
 1:100

CHRISTCHURCH COUNCIL

[Signature]

CONSENT DOCUMENT

28 SEP 2004

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT

REV	COMMENT	DATE

Revisions		SETUP DATE OF REV	
DRAWN	CHECKED	APPROVED	DATE
MC			
JOB NAME:			
CUE TIME			
CLIENT:			
DRAWING NAME:			
EXISTING FIRST FLOOR PLAN			
SCALE:		1:100	
DATE:	Dwg No:	2	Rev No:
June 2004			

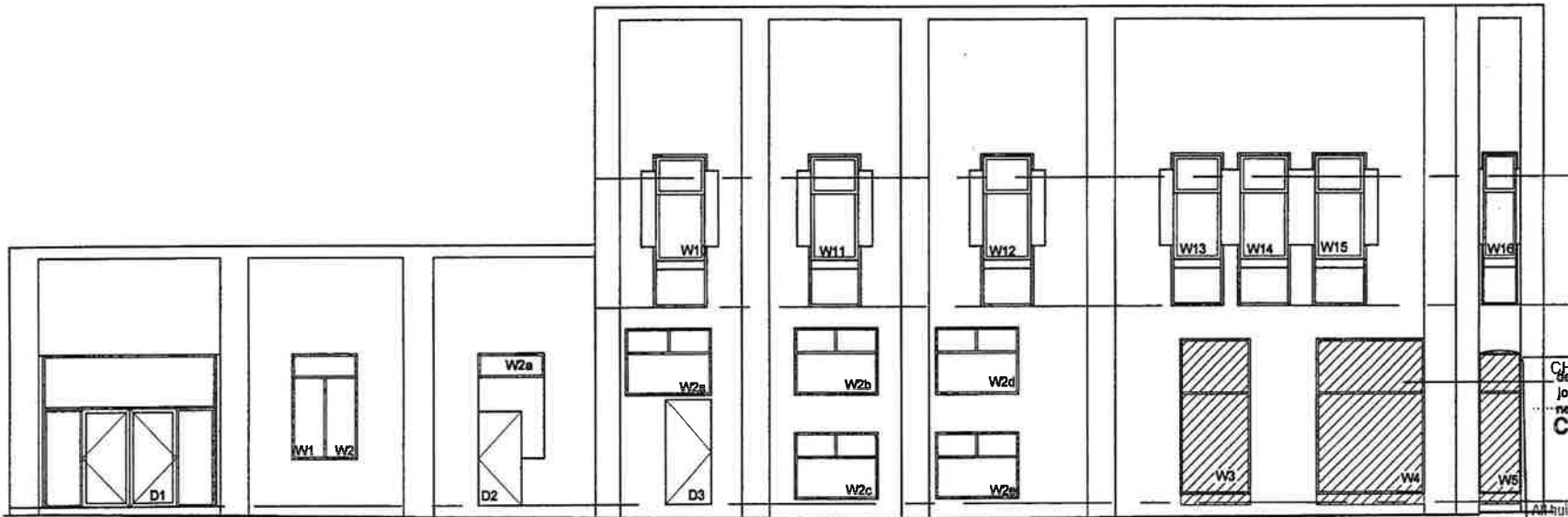
PO Box 8138 Christchurch New Zealand
 Phone 03 365 8686 Fax 03 365 8687
 rmdesigns.co.nz

DESIGNERS • PROJECT MANAGERS



DO NOT SCALE FROM DRAWINGS. IF IN DOUBT, PLEASE ASK CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES.
PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS

NOTES



EXTERIOR ELEVATION
GLOUCESTER STREET
1:100

CHRISTCHURCH CITY COUNCIL
Consent window
Joinery and part wall to
new GL
CONSENT DOCUMENT
28 SEP 2004

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT		
REV	COMMENT	DATE

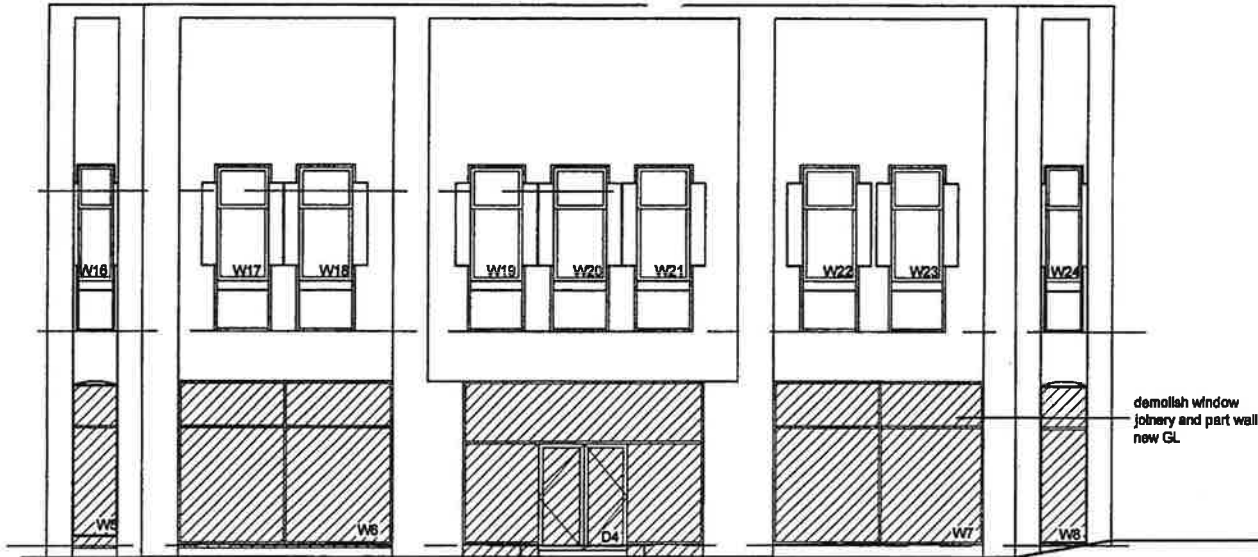
Revisions		<small>REVISED DATE OF DWG</small>	
DRAWN	MC	CHECKED	APPROVED <i>[Signature]</i>
JOB NAME: CUE TIME			
CLIENT:			
DRAWING NAME:			
EXISTING EXTERIOR ELEVATIONS			
SCALE:		1:100	
DATE:	Dwg No:	Rev No:	
June 2004	3		

DESIGNERS - PROJECT MANAGERS

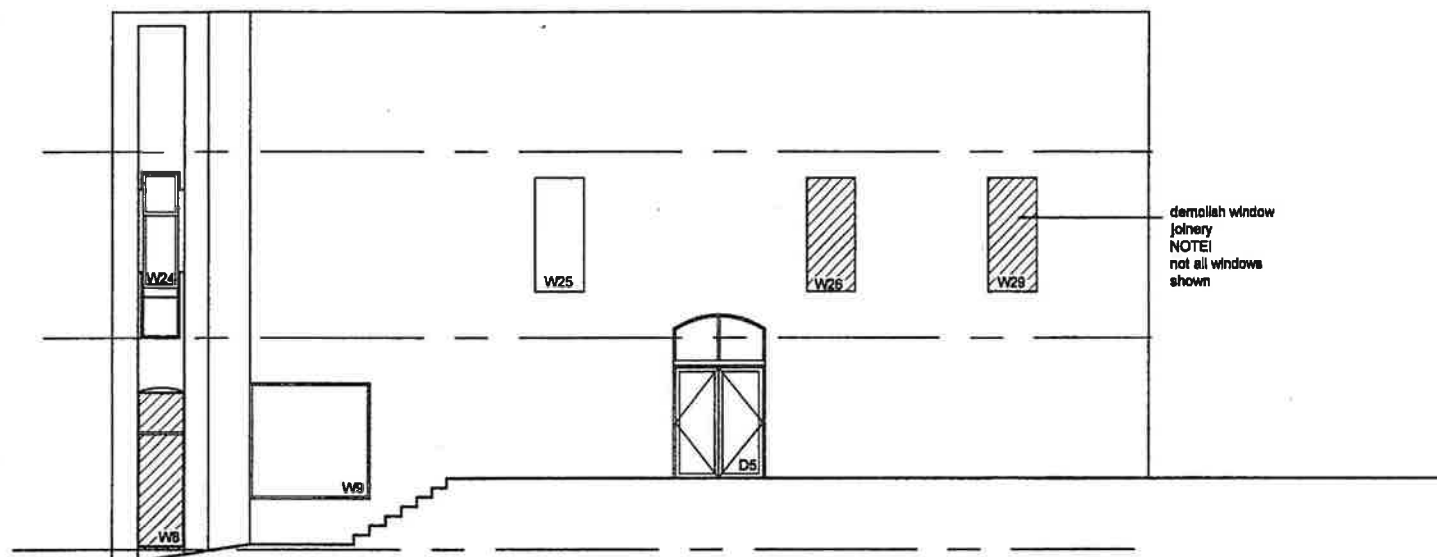


DO NOT SCALE FROM DRAWINGS, IF IN DOUBT, PLEASE ASK CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES.
PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS.

NOTES



EXTERIOR ELEVATION
MANCHESTER STREET
1:100



EXTERIOR ELEVATION
ALLEY SIDE
1:100

CHRISTCHURCH CITY COUNCIL
[Signature]
CONSENT DOCUMENT
28 SEP 2004
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT		
REV	COMMENT	DATE

Revisions

DRAWN	MC	CHECKED	APPROVED	DATE
JOB NAME: CUE TIME				
CLIENT:				
DRAWING NAME:				

EXISTING EXTERIOR ELEVATIONS

SCALE: 1:100

DATE: June 2004 Dwg No: 4 Rev No:

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DESIGNERS - PROJECT MANAGERS



DO NOT SCALE FROM DRAWINGS, IF IN DOUBT, PLEASE ASK CONTRACTOR TO VERIFY DIMENSIONS BEFORE WORK COMMENCES.
 PLEASE ENGINEER DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION BY ALL SPECIALLY SUBCONTRACTORS window

NOTES
 HARD STAND RUBBISH AREA vinyl to floor & walls
 CLEANERS CPBD

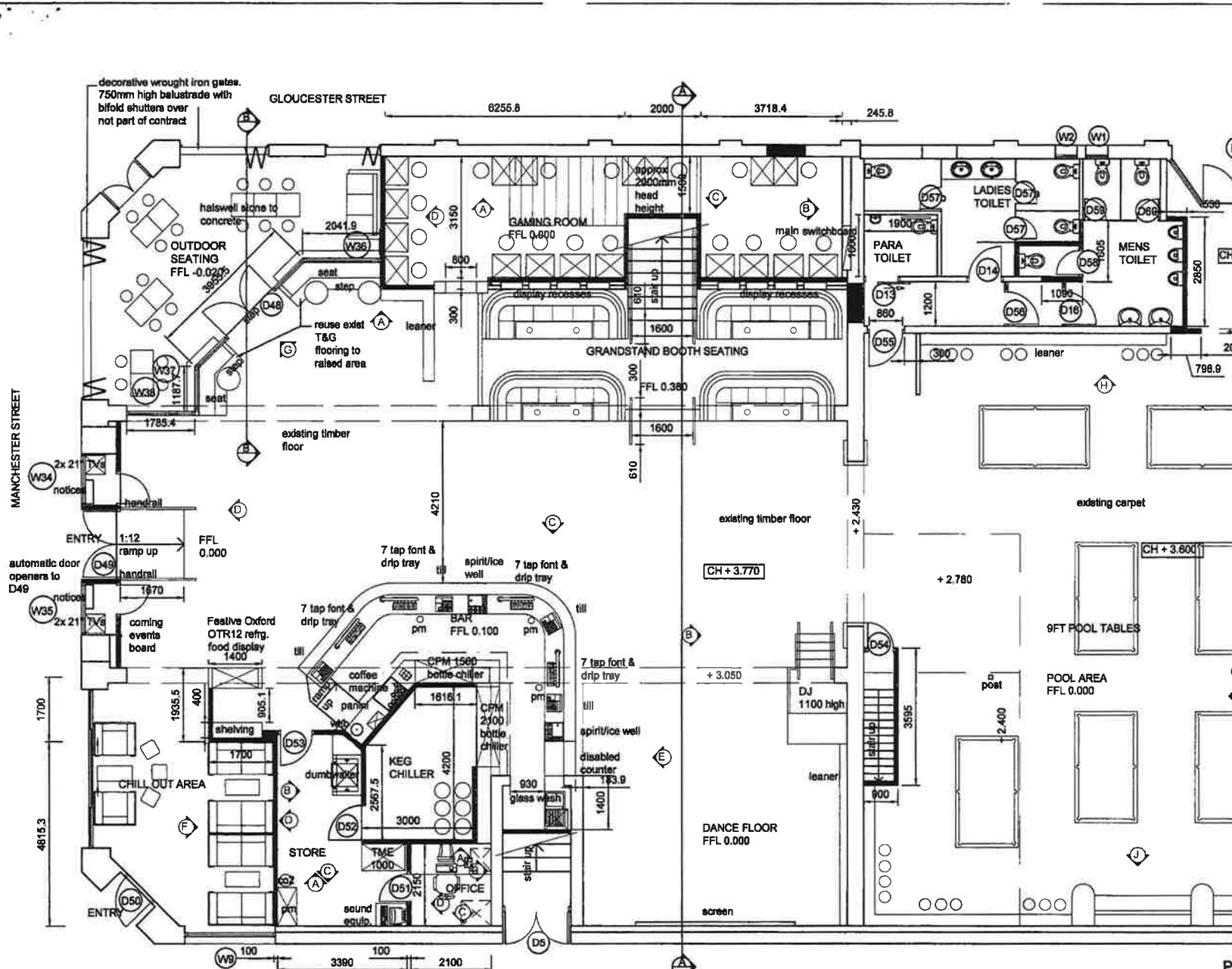
CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
 28 SEP 2004
 All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

CHRISTCHURCH CITY COUNCIL
 RECEIVED
 25 SEP 2004
 CIVIC OFFICES
 Application No.

BUILDING CONSENT
 Application No.
 DATE 23/09/04

Revisions	DATE OF REV.	DATE OF REV.
DRAWN MC	CHECKED	APPROVED
JOB NAME:		
CLIENT:		
DRAWING NAME:		
CUE TIME		

PROPOSED GROUND FLOOR PLAN
 SCALE: 1:100
 DATE: June 2004 Dwg No: 5 Rev No: 1
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PROPOSED GROUND FLOOR PLAN
 1:100

DESIGNERS - PROJECT MANAGERS

RETAIL, MECHANIX trading as



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NOTES

- ① Accessible entry sign
- ② Accessible bar sign
- ③ To Accessible toilet
- ④ Accessible toilet.

Signs to be located on a wall between 1400 & 1700mm off FFL

BUILDING CONSENT

REV	COMMENT	DATE
	who to staff area, toilet layout	23/09/04

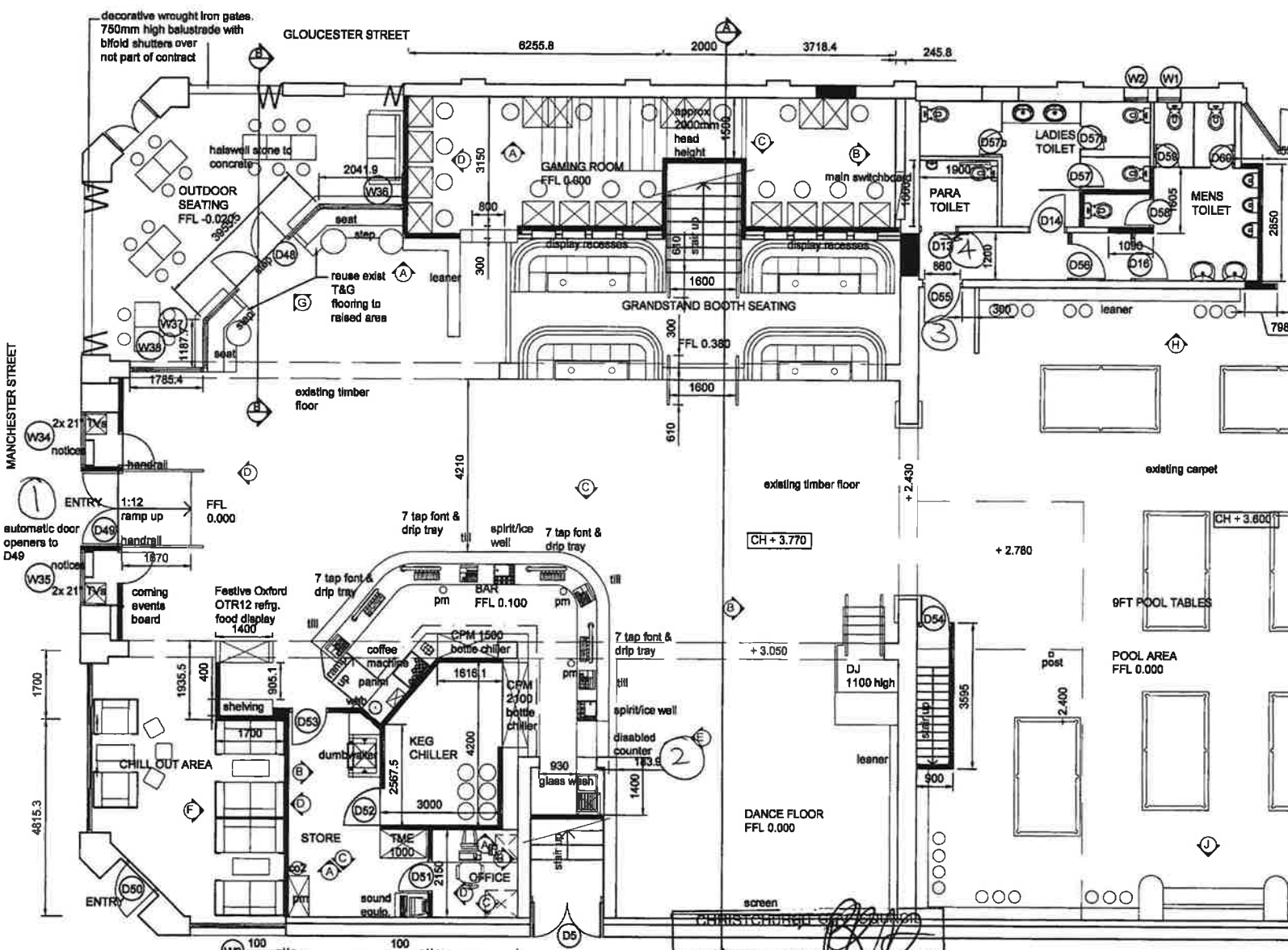
Revisions	DATE OF REV
DRAWN MC	CHECKED APPROVED date
JOB NAME:	
CLIENT:	
DRAWING NAME:	

CUE TIME

PROPOSED GROUND FLOOR PLAN

SCALE:	1:100
DATE:	June 2004
Dwg No:	5
Rev No:	1

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MANCHESTER STREET

GLOUCESTER STREET

ENTRY 1:12 ramp up
handrail
automatic door openers to D49

PROPOSED GROUND FLOOR PLAN
1:100

CONSENT DOCUMENT

28 SEP 2004

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

DISABLED SIGNAGE

All signage to comply with NZBC & NZS 4121

DESIGNER'S PROJECT MANAGER'S



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NOTES

CHRISTCHURCH CITY COUNCIL
[Signature]
CONSENT DOCUMENT
 28 SEP 2004

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

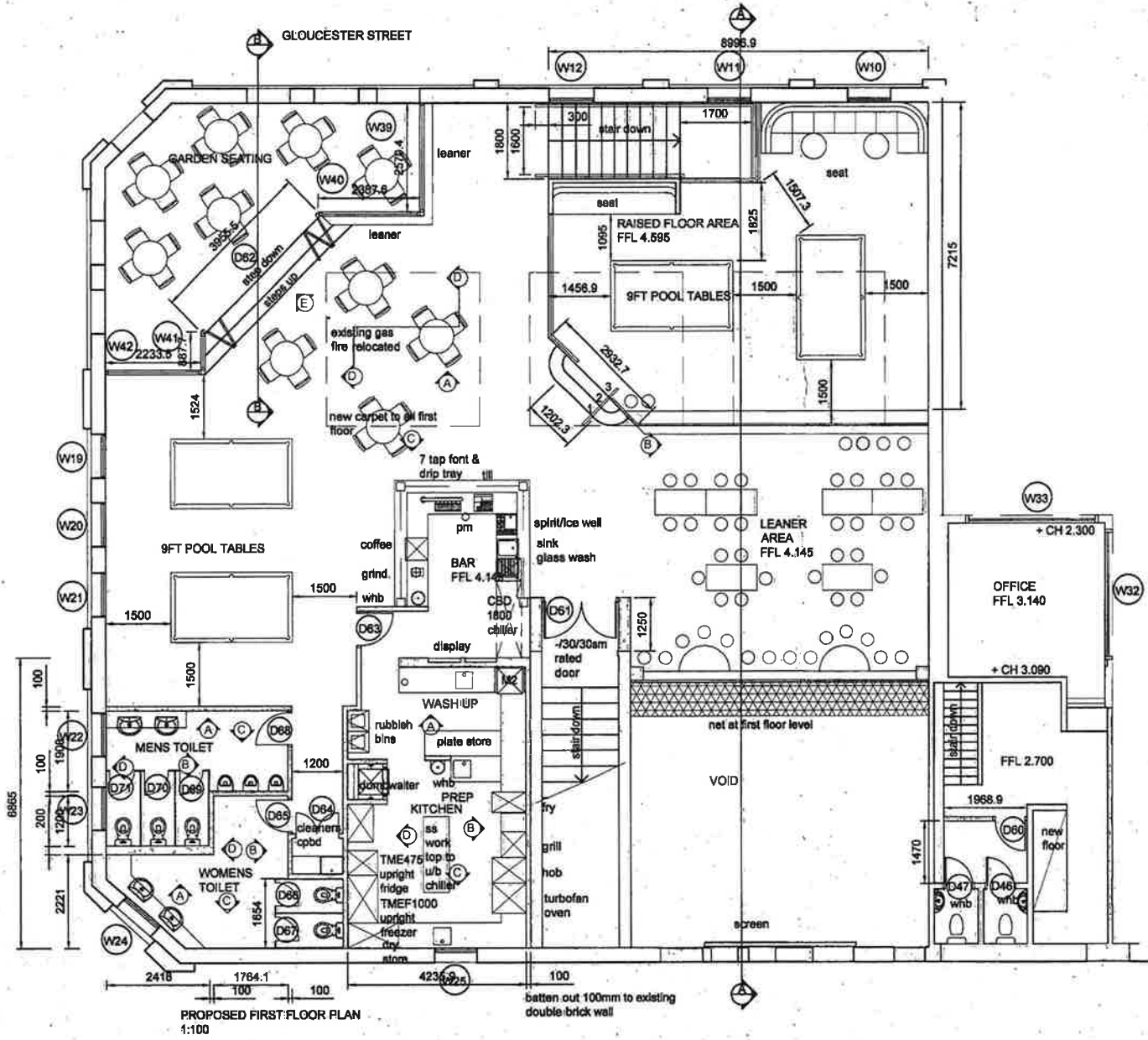
CHRISTCHURCH CITY COUNCIL
RECEIVED
 25 SEP 2004
 CIVIC OFFICES
 Application No.

BUILDING CONSENT

1	whb to staff	23/09/04
REV	COMMENT	DATE

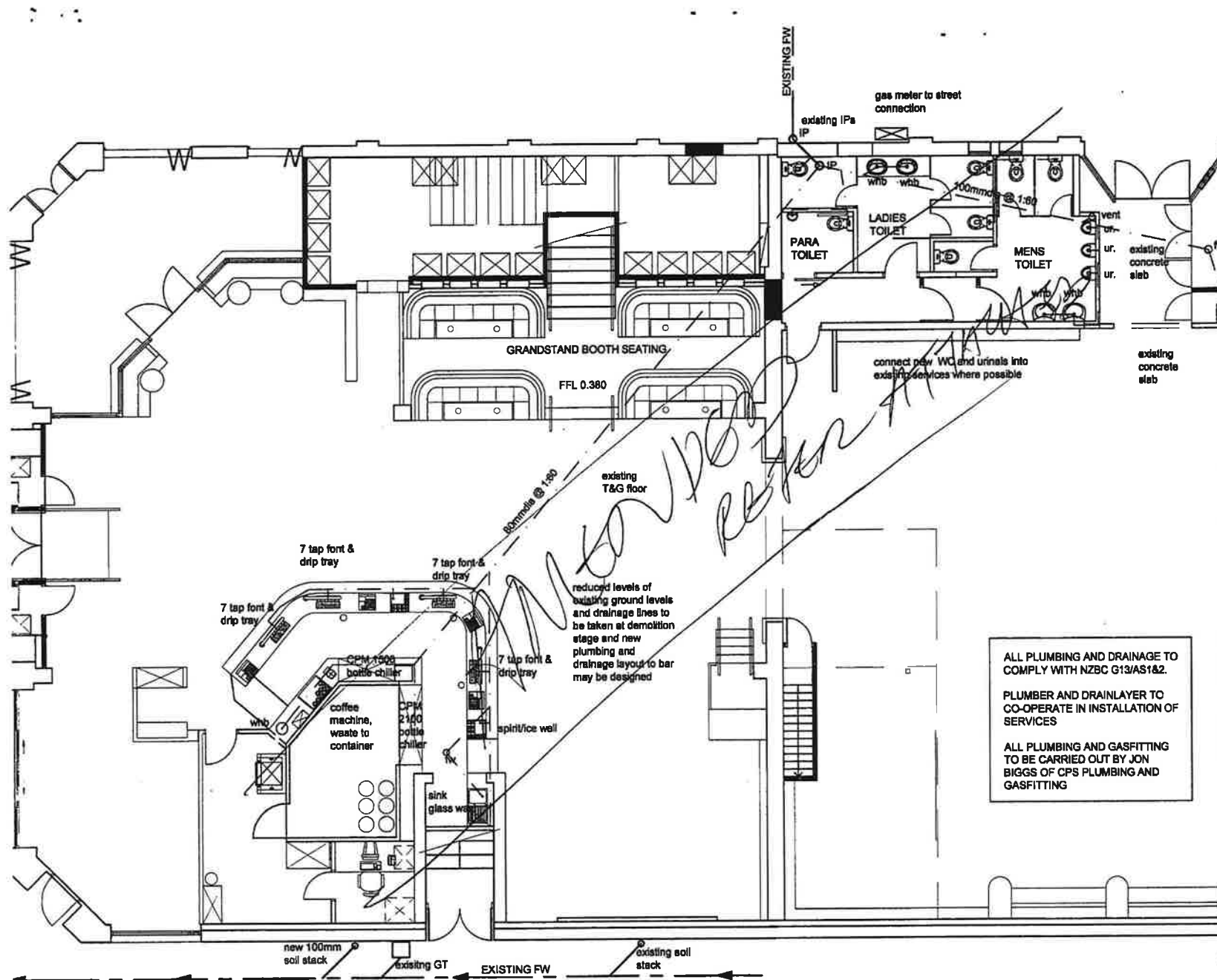
Revisions REVISION DATE OF DWG

DRAWN	MC	CHECKED	APPROVED	DATE
JOB NAME: CUE TIME				
CLIENT:				
DRAWING NAME: PROPOSED FIRST FLOOR PLAN				
SCALE: 1:100				
DATE:	Dwg No:	6	Rev No:	1
June 2004				
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PROPOSED FIRST FLOOR PLAN
 1:100

DESIGNERS - PROJECT MANAGERS



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NOTES

ALL PLUMBING AND DRAINAGE TO COMPLY WITH NZBC G13/AS1&2.

PLUMBER AND DRAINLAYER TO CO-OPERATE IN INSTALLATION OF SERVICES

ALL PLUMBING AND GASFITTING TO BE CARRIED OUT BY JON BIGGS OF CPS PLUMBING AND GASFITTING

CHRISTCHURCH CITY COUNCIL

~~CONSENT DOCUMENT~~

28 SEP 2004

All building work shall comply with the New Zealand Building Code. Notwithstanding any inconsistencies there may be in the drawings and specifications.

BUILDING CONSENT

1	cleaners sink layout	23/09/04
REV	COMMENT	DATE

Revisions		REVISION DATE OF DWS	
DRAWN	MC	CHECKED	APPROVED date
JOB NAME:			
CLIENT:			
DRAWING NAME:			

PROP. GROUND FLOOR PLUMBING

SCALE:	1:100
DATE:	July 2004
Dwg No:	7
Rev No:	1

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PROPOSED GROUND FLOOR PLUMBING PLAN
1:100

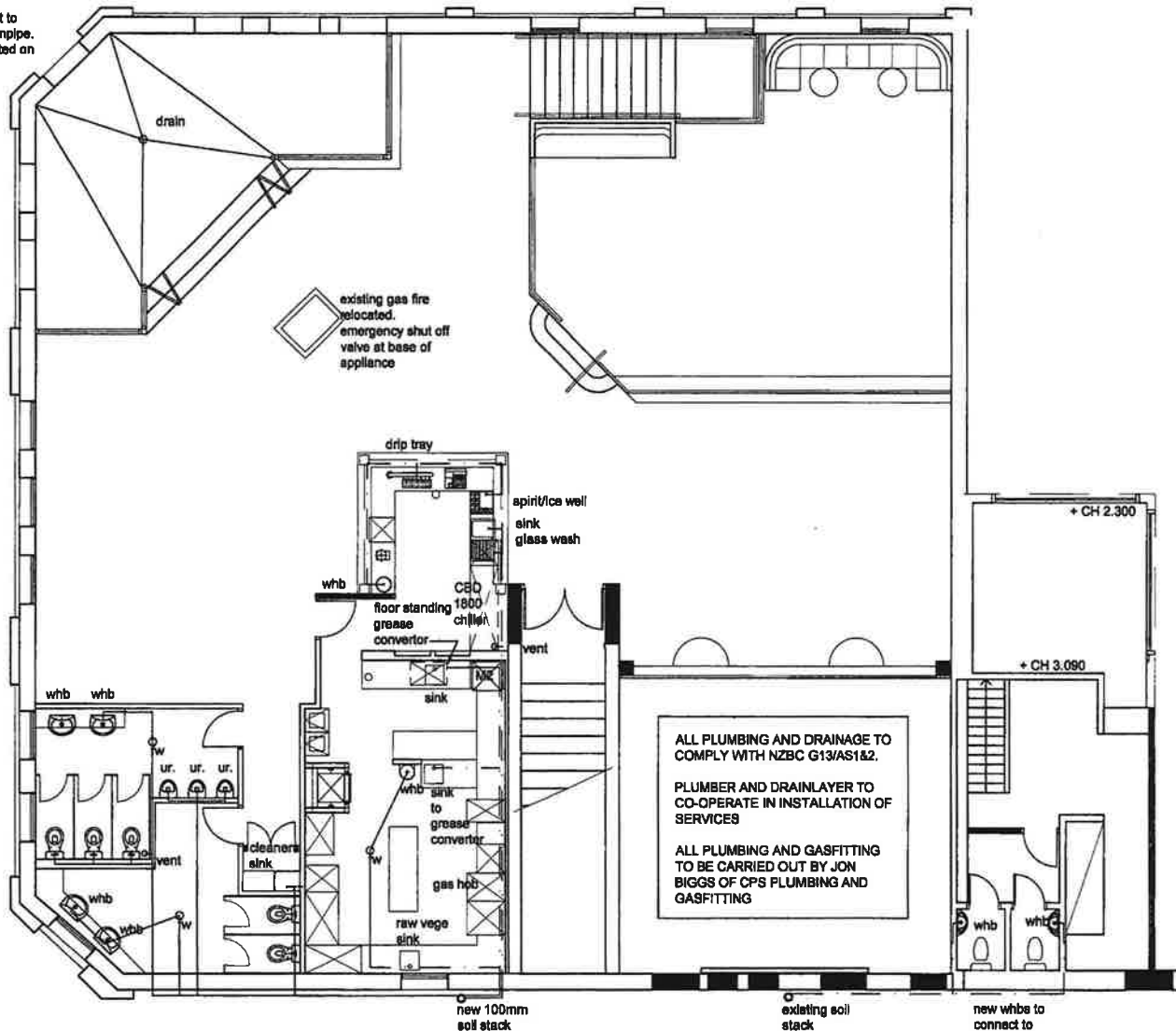
DESIGNERS - PROJECT MANAGERS



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PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS.

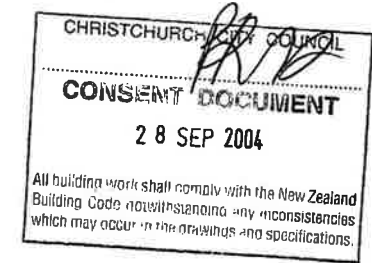
NOTES

floor drain to connect to existing internal downpipe. Downpipe to be located on site



PROPOSED FIRST FLOOR PLUMBING PLAN
1:100

ALL PLUMBING AND DRAINAGE TO COMPLY WITH NZBC G13/AS1&2.
PLUMBER AND DRAINLAYER TO CO-OPERATE IN INSTALLATION OF SERVICES
ALL PLUMBING AND GASFITTING TO BE CARRIED OUT BY JON BIGGS OF CPS PLUMBING AND GASFITTING



All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

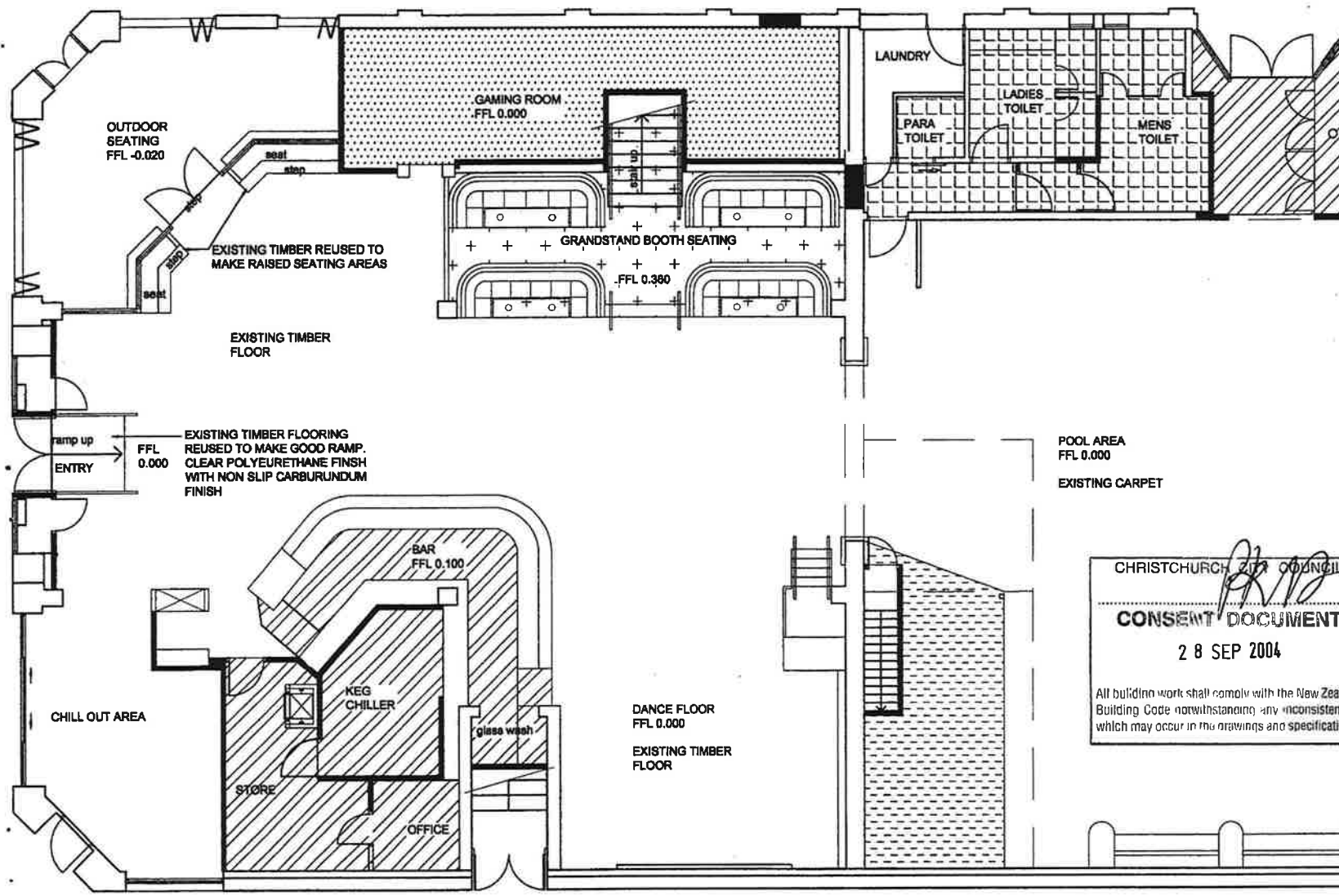
BUILDING CONSENT

1	layout	23/09/04
REV	COMMENT	DATE

Revisions		DATE OF REV	
DRAWN	MC	CHECKED	APPROVED
JOB NAME: CUE TIME			
CLIENT:			
DRAWING NAME: PROP. FIRST FLOOR PLUMBING			
SCALE: 1:100			
DATE: July 2004	Dwg No: 8	Rev No: 1	

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NOTES

- FLOORING LEGEND**
- CARPET TO MATCH EXISTING
 - GAMING CARPET
 - CARPET
 - VINYL
 - TILES
 - TILES 2

CHRISTCHURCH COUNCIL
CONSENT DOCUMENT
 28 SEP 2004
 All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT

REV	COMMENT	DATE

Revisions		DATE OF REV
DRAWN	MC	CHECKED APPROVED
JOB NAME: CUE TIME		
CLIENT:		
DRAWING NAME:		

PROPOSED GROUND FLOOR FLOORING

SCALE:	1:100
DATE:	Dwg No: 9 Rev No:
July 2004	

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PROPOSED GROUND FLOOR FLOORING PLAN
 1:100

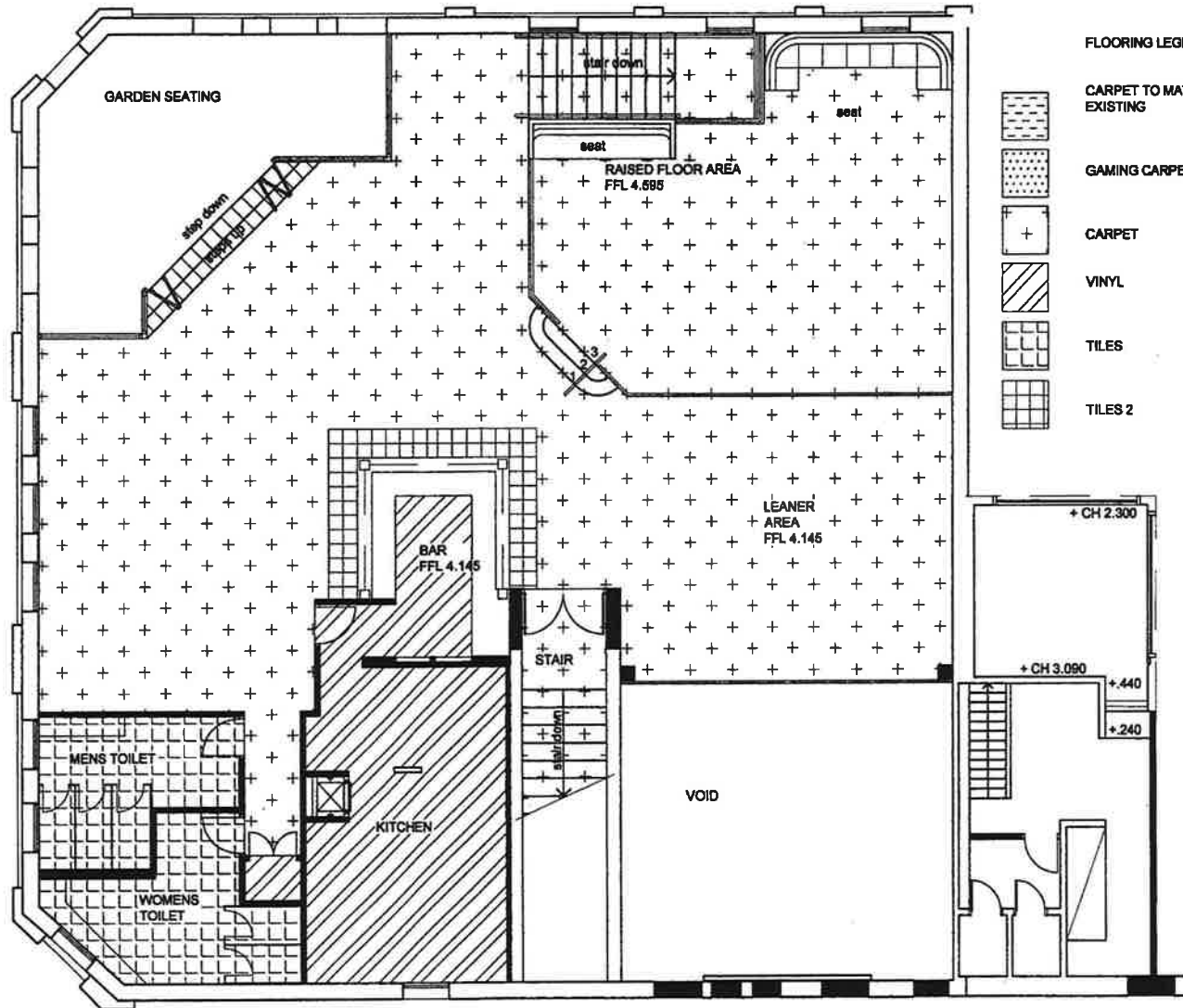
DESIGNERS PROJECT MANAGERS

REVISIONS



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NOTES



PROPOSED FIRST FLOOR FLOORING PLAN
1:100

FLOORING LEGEND



CARPET TO MATCH EXISTING



GAMING CARPET



CARPET



VINYL



TILES



TILES 2

CHRISTCHURCH CITY COUNCIL

CONSENT DOCUMENT

28 SEP 2004

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT

REV	COMMENT	DATE

Revisions

DRAWN	CHECKED	APPROVED	DATE
MC			

JOB NAME:

CLIENT: CUE TIME

DRAWING NAME:

PROPOSED FIRST FLOOR FLOORING

SCALE: 1:100

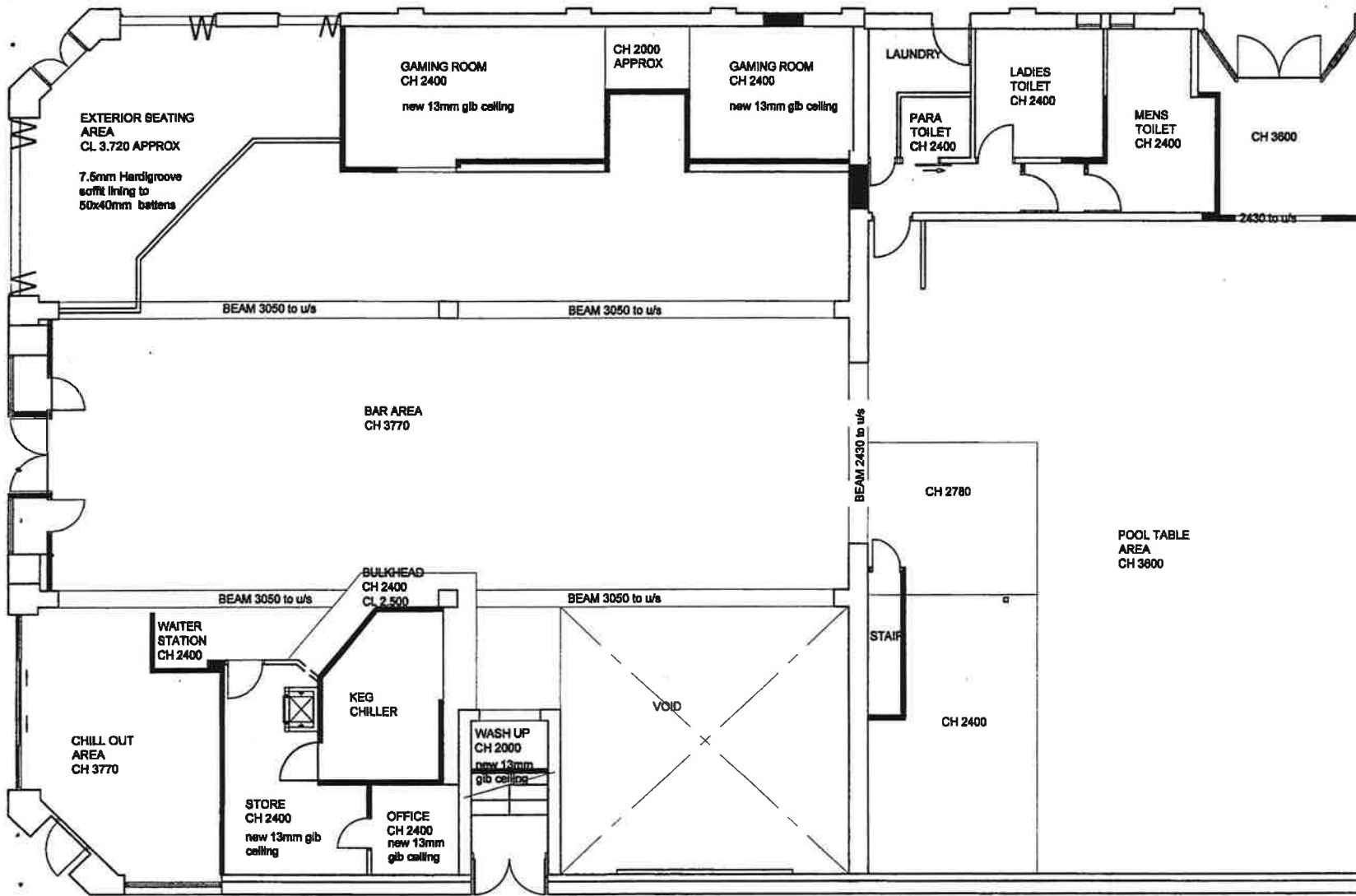
DATE: July 2004 Dwg No: 10 Rev No:

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DESIGNER - PROJECT MANAGER



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NOTES

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
 2 8 SEP 2004

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT

REV	COMMENT	DATE

Revisions

DRAWN	CHECKED	APPROVED	DATE
MC			

JOB NAME: **CUE TIME**

CLIENT: **CUE TIME**

DRAWING NAME: **GROUND FLOOR REFLECTED CEILING**

PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
 1:100

GROUND FLOOR REFLECTED CEILING

SCALE: **1:100**

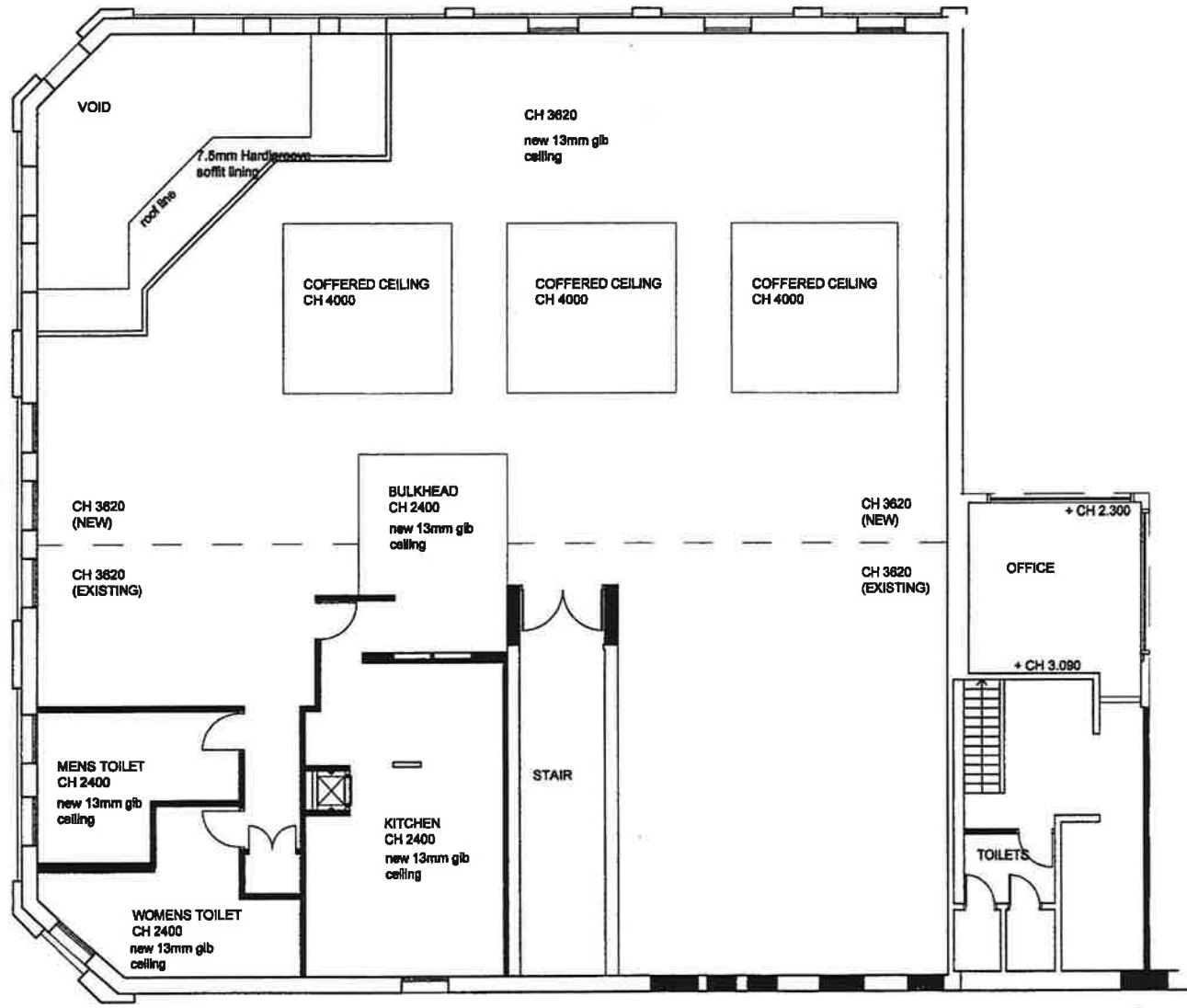
DATE: **July 2004** Dwg No: **11** Rev No:

DESIGNER - PROJECT MANAGERS



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NOTES



PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
1:100

CHRISTCHURCH CITY COUNCIL
[Signature]
CONSENT DOCUMENT
28 SEP 2004

All building work shall comply with the New Zealand Building Code (withholding any inconsistencies which may occur in the drawings and specifications).

BUILDING CONSENT

REV	COMMENT	DATE

Revisions		DATE OF REV	
DRAWN	MC	CHECKED	APPROVED
JOB NAME: CUE TIME			
CLIENT:			
DRAWING NAME:			
FIRST FLOOR REFLECTED CEILING			
SCALE:		1:100	
DATE:	Dwg No:	Rev No:	
July 2004	12		

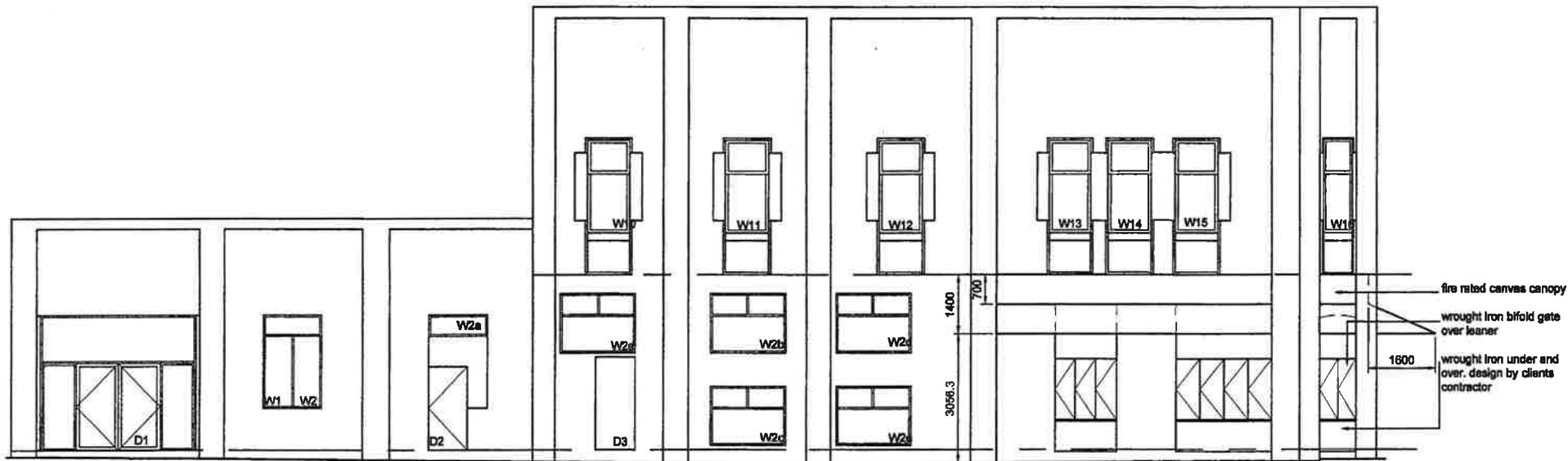
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NOTES

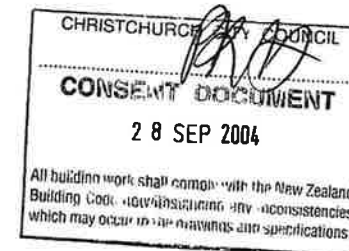


PROPOSED EXTERIOR ELEVATION
GLOUCESTER STREET
1:100

existing door to remain,
framed over internally only

BUILDING CONSENT

REV	COMMENT	DATE



Revisions	DATE OF REV
DRAWN MC	CHECKED APPROVED date
JOB NAME:	
CLIENT:	
DRAWING NAME:	

PROPOSED EXTERIOR ELEVATIONS

SCALE:	1:100	
DATE:	Dwg No:	Rev No:
July 2004	13	

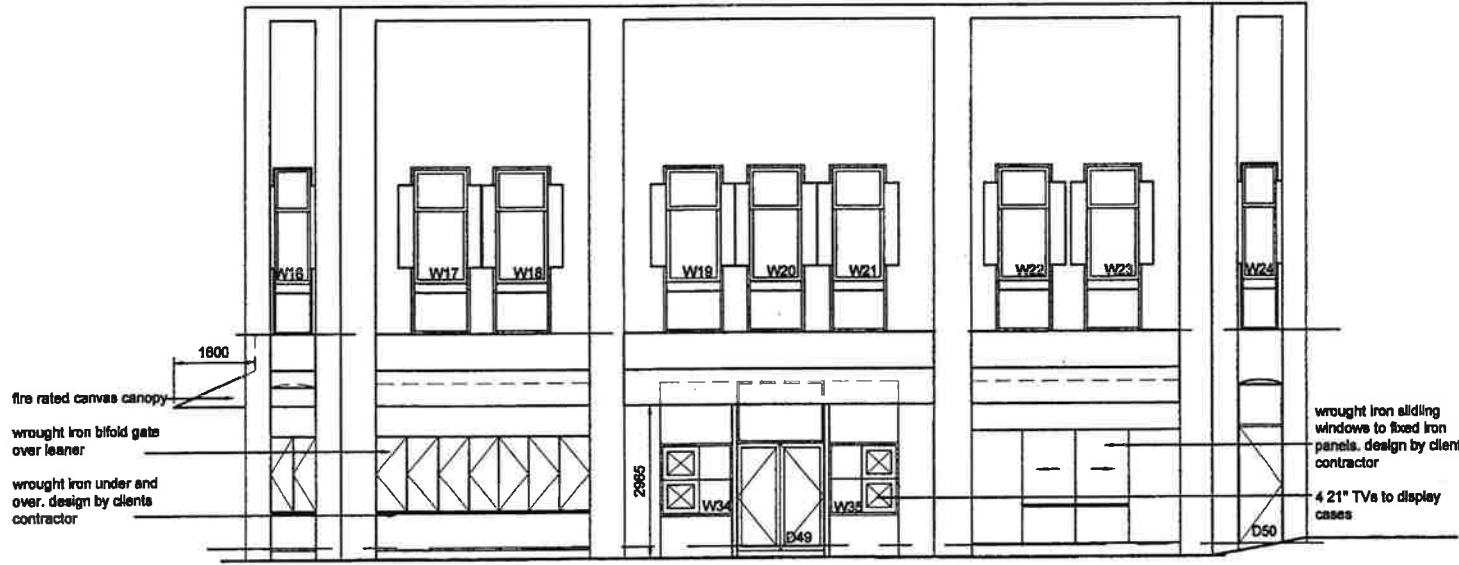
PO Box 8138 Christchurch New Zealand
Phone 03 365 8686 Fax 03 365 6687
mde@rma.co.nz

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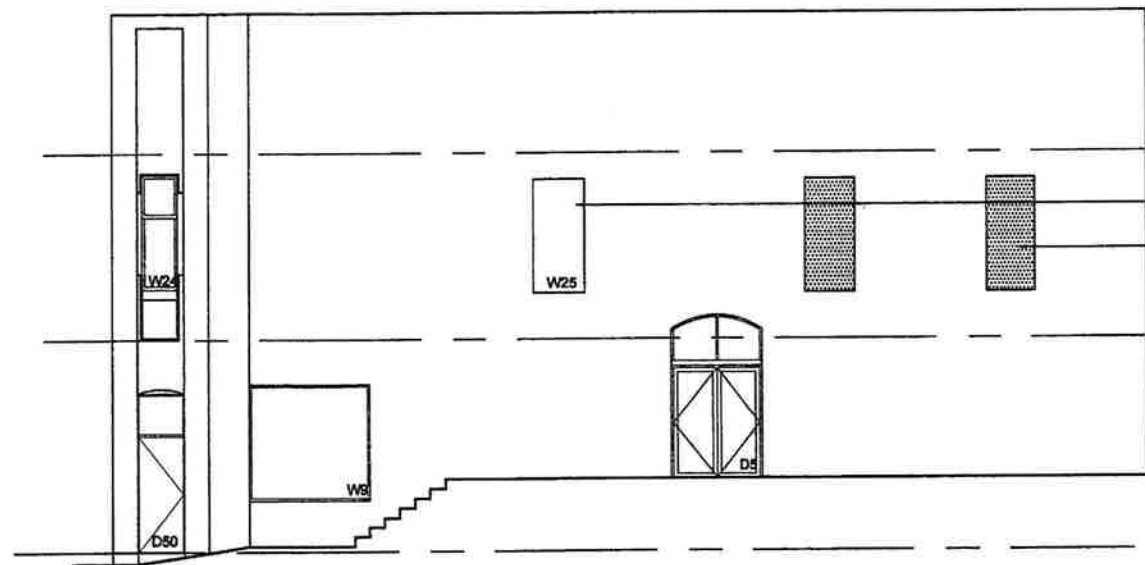


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NOTES



PROPOSED EXTERIOR ELEVATION
MANCHESTER STREET
1:100



PROPOSED EXTERIOR ELEVATION
ALLEY SIDE
1:100

CHRISTCHURCH CITY COUNCIL

CONSENT DOCUMENT
 28 SEP 2004
 All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT		
REV	COMMENT	DATE

Revisions		DATE OF CHG
DRAWN	MC	CHECKED
JOB NAME:		CUE TIME
CLIENT:		
DRAWING NAME:		

PROPOSED EXTERIOR ELEVATIONS

SCALE:	1:100	
DATE:	Dwg No: 14	Rev No:
July 2004		

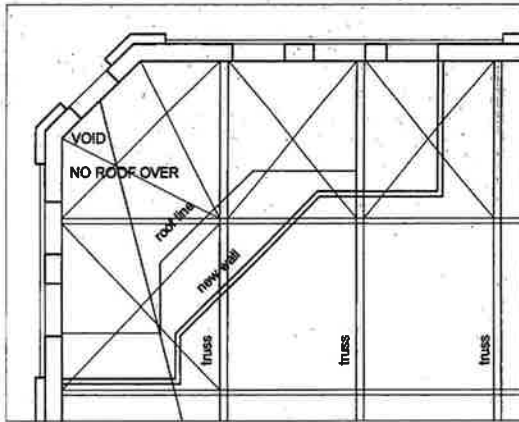
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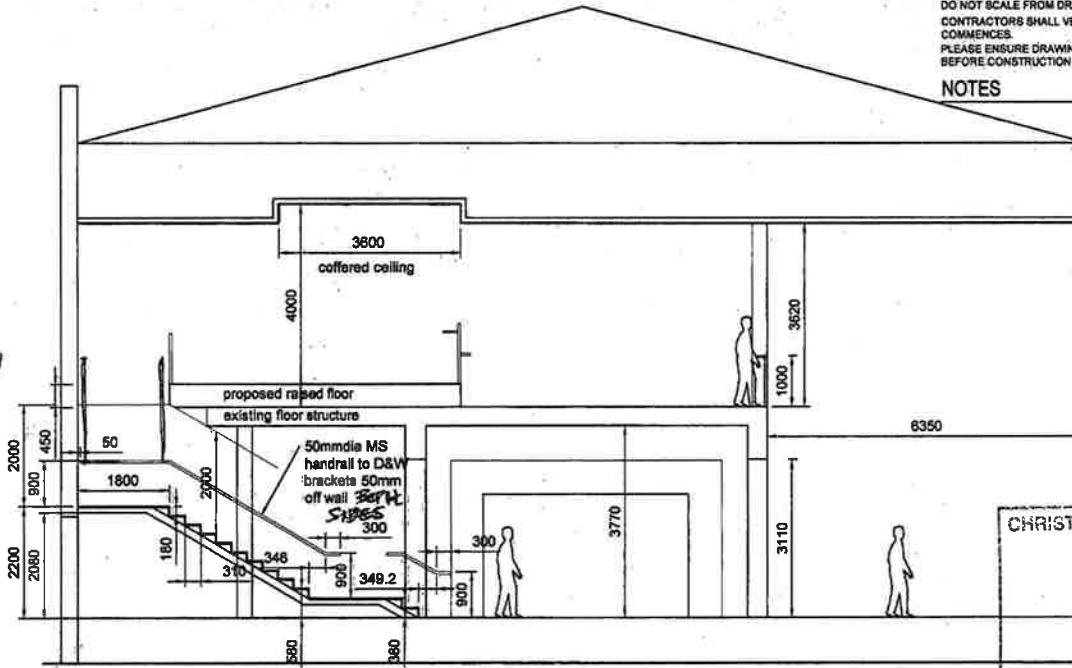
DO NOT SCALE FROM DRAWINGS, IF IN DOUBT, PLEASE ASK. CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES. PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS.

NOTES



PART ROOF FRAMING PLAN
1:100

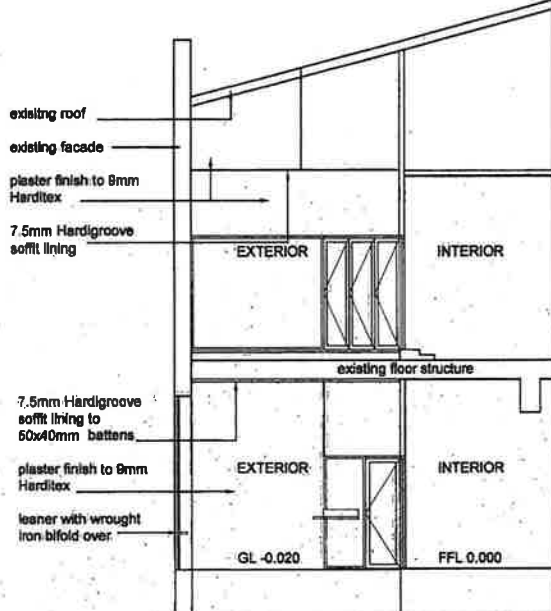
AMENDED
C.C.C. RA 24/1/04



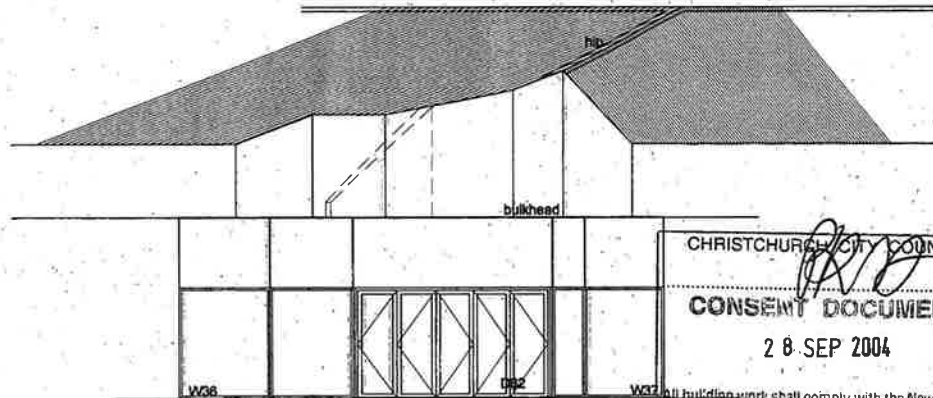
SECTION A-A
PROPOSED SECTION THROUGH STAIR
1:100

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RECEIVED
25 SEP 2004
CIVIC OFFICES

Application No.



SECTION B-B
PROPOSED SECTION OUTDOOR SEATING AREA
1:100



EXTERIOR ELEVATION
FIRST FLOOR: GARDEN SEATING
AREA
1:50

BUILDING CONSENT

show handrail to stair	2309004
REV	COMMENT
DATE	

Revisions	SETUP DATE OF DWG
DRAWN MC	CHECKED
APPROVED	DATE
CLIENT	CUE TIME
DRAWING NAME	PROPOSED SECTIONS

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
28 SEP 2004

SCALE: 1:100
DATE: 28 SEP 2004
Dwg No: 15 Rev No: 1

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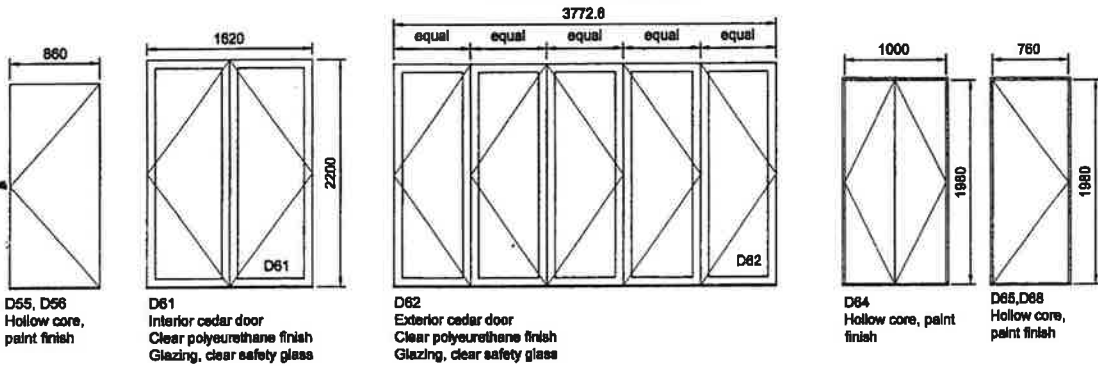
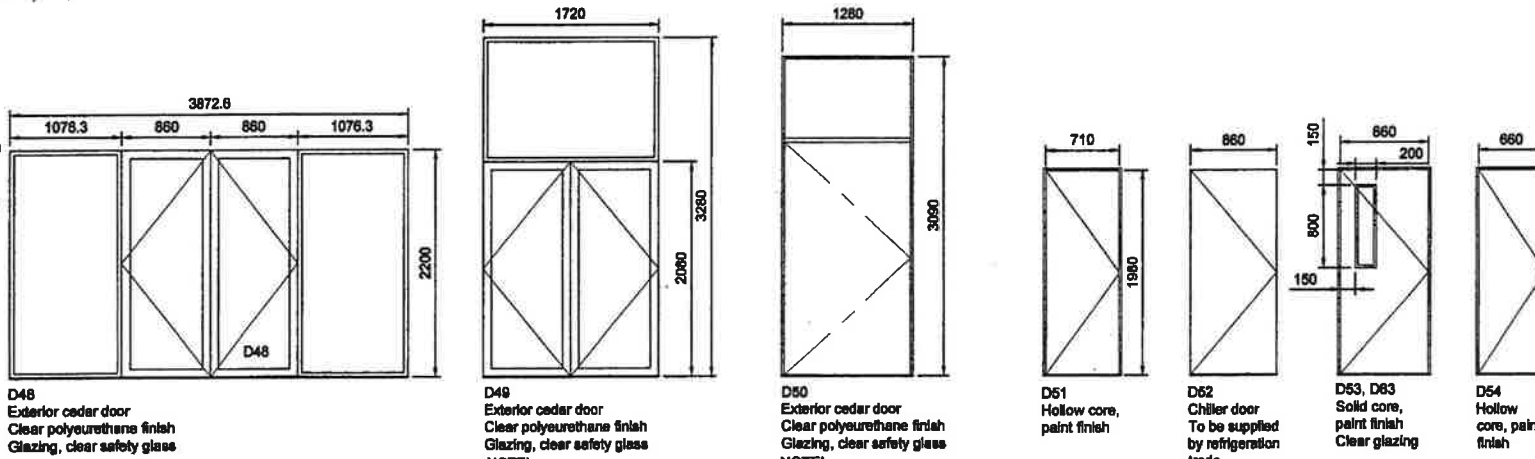
DESIGNERS - PROJECT MANAGERS

RE: PAUL BELL/PURUA BARRIS 40



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NOTES



CHRISTCHURCH COUNCIL

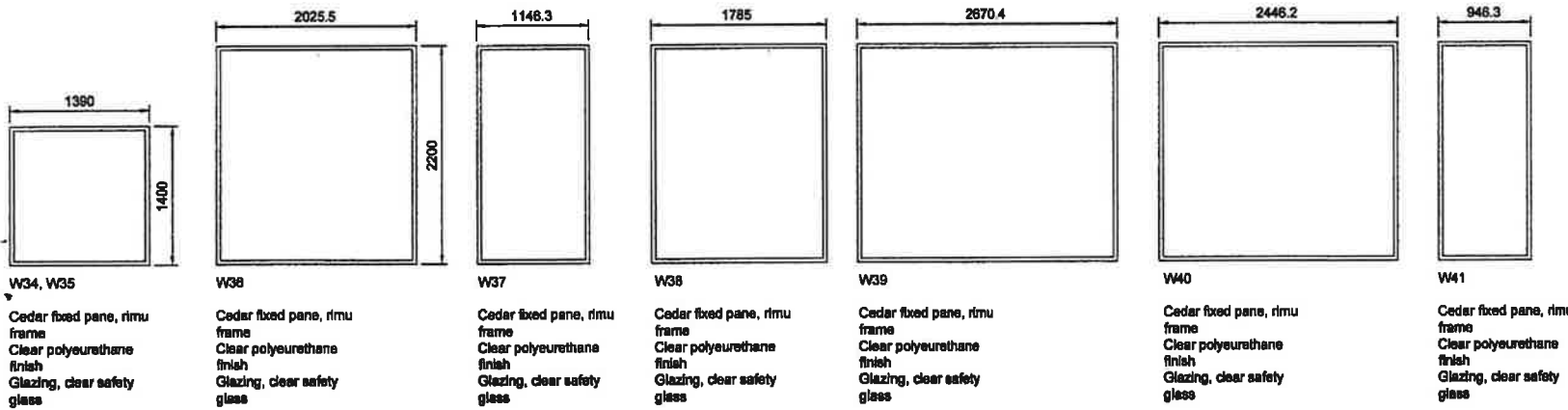
[Signature]

CONSENT DOCUMENT

28 SEP 2004

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

BUILDING CONSENT



REV	COMMENT	DATE

Revisions

DRAWN	MC	CHECKED		APPROVED		DATE	
JOB NAME: CUE TIME							
CLIENT:							
DRAWING NAME: DOOR & WINDOW SCHEDULE							
SCALE: 1:50							
DATE:	July 2004	Dwg No:	16	Rev No:			

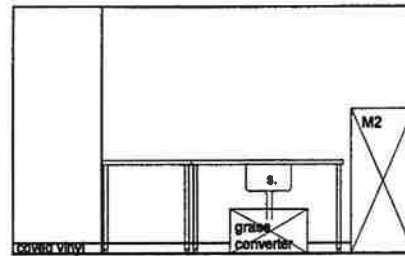
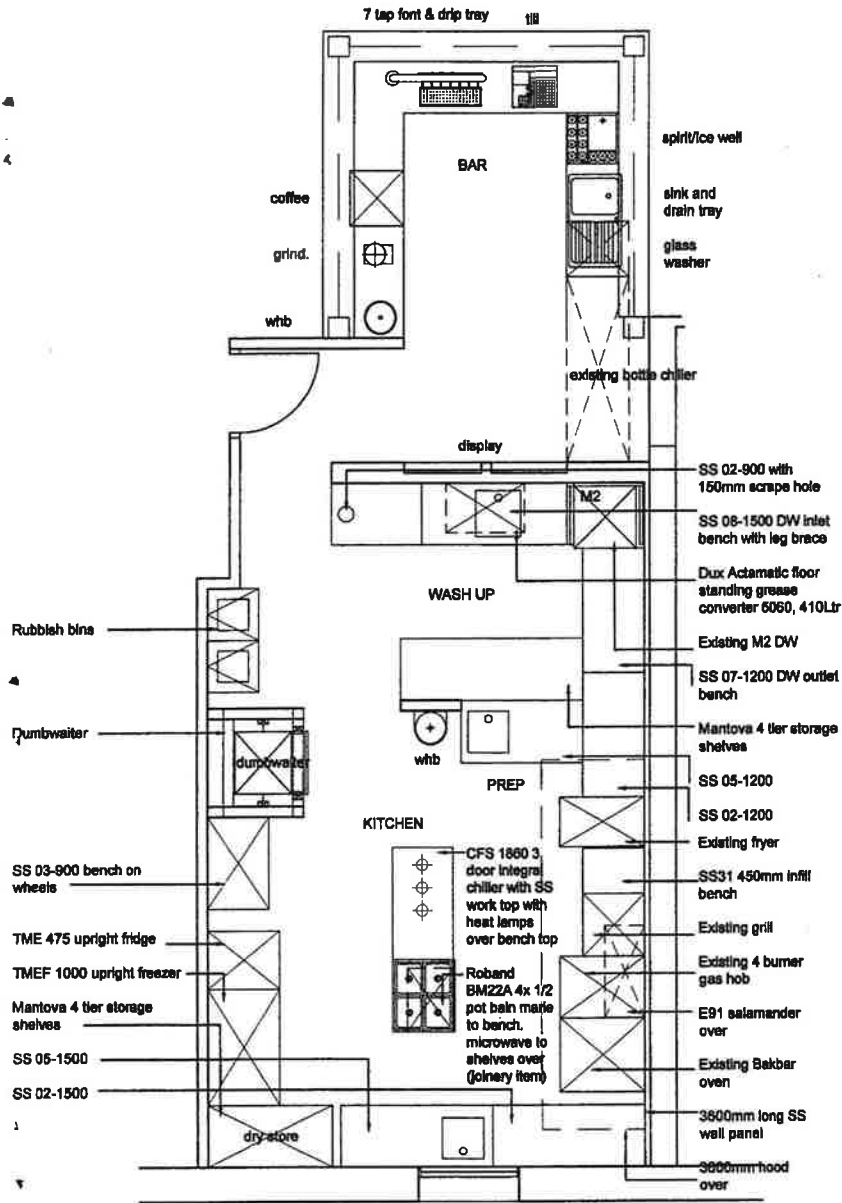
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DESIGNER * PROJECT MANAGERS *

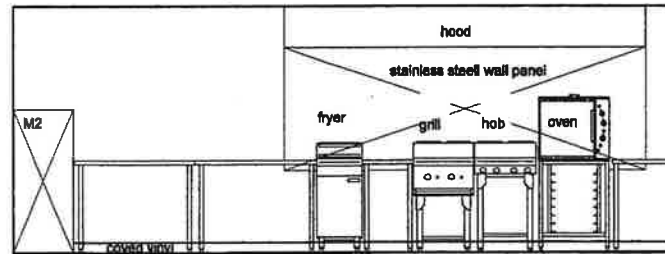


DO NOT SCALE FROM DRAWINGS, IF IN DOUBT, PLEASE ASK CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES. PLEASE ENSURE DRAWING IS OF THE LATEST REVISION BEFORE CONSTRUCTION - ESPECIALLY SUBCONTRACTORS.

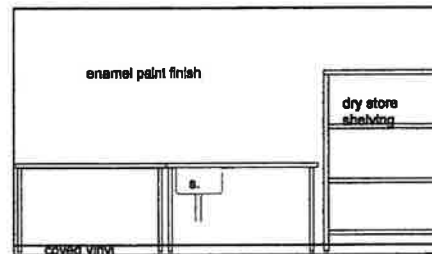
NOTES



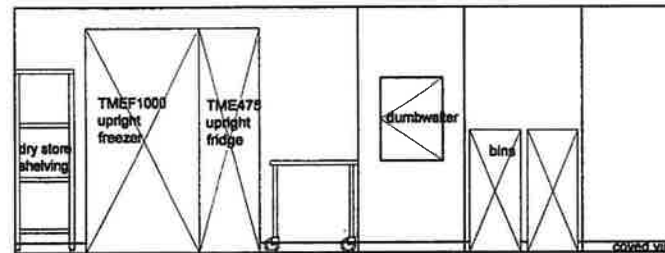
FIRST FLOOR KITCHEN ELEVATION A



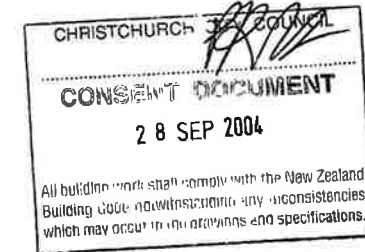
FIRST FLOOR KITCHEN ELEVATION B



FIRST FLOOR KITCHEN ELEVATION C



FIRST FLOOR KITCHEN ELEVATION D



BUILDING CONSENT

REV	COMMENT	DATE

Revisions	DATE	DATE OF ISS
DRAWN: MC	CHECKED	APPROVED
JOB NAME: CUE TIME		
CLIENT: KITCHEN PLAN & ELS		
DRAWING NAME: KITCHEN PLAN & ELS		
SCALE: 1:50		DATE: July 2004
Dwg No:	Rev No:	

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16 SEP 2004

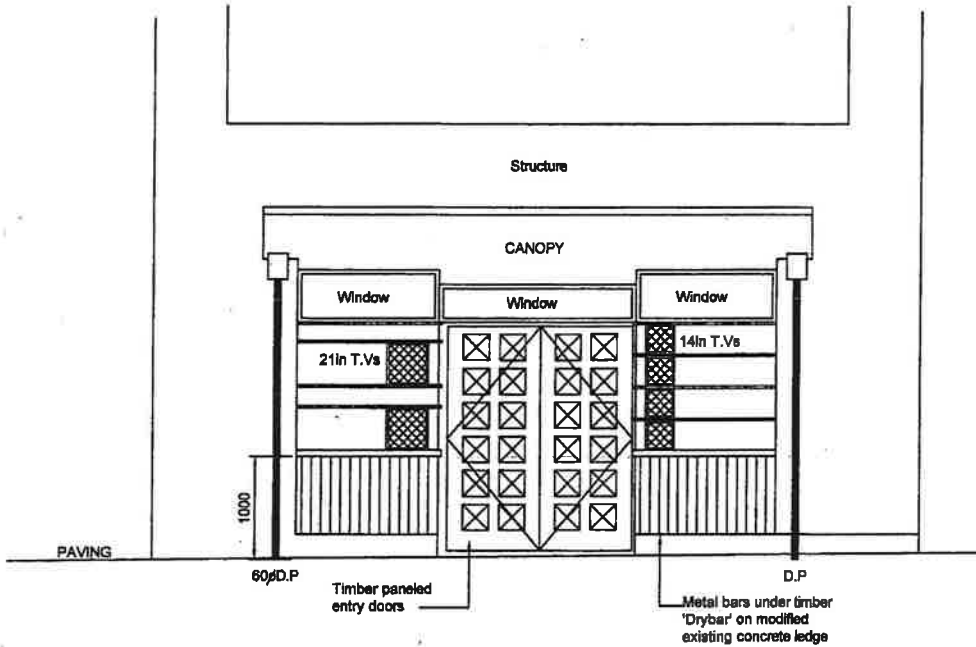
RETAIL MECHANIX Trading as



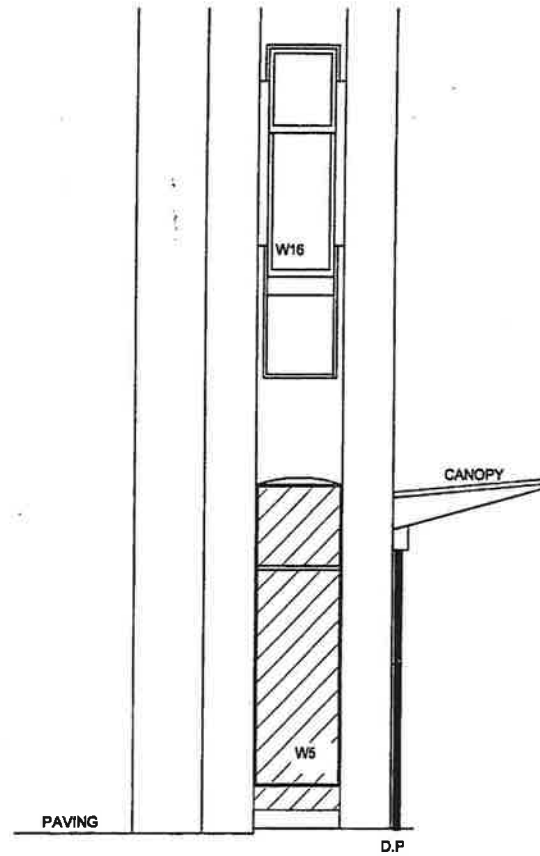
DO NOT SCALE FROM DRAWINGS, IF IN DOUBT, PLEASE ASK CONTRACTORS SHALL VERIFY DIMENSIONS BEFORE WORK COMMENCES.
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NOTES

15 SEP 2004



EXTERIOR ELEVATION MANCHESTER ST
PROPOSED NEW ENTRY @ 1:50



EXTERIOR (CORNER) ELEVATION
MANCHESTER ST PROPOSED
NEW ENTRY @ 1:50

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
28 SEP 2004

All building work shall comply with the New Zealand Building Code wherever there are any inconsistencies which may occur in the drawings and specifications.

CONSTRUCTION
10047885

RECEIVED
20 SEP 2004
ENVIRONMENTAL SERVICES

REV	COMMENT	DATE

Revisions		DATE	BY
DRAWN	CM	CHECKED	APPROVED
JOB NAME:		CUE TIME	
CLIENT:		DRAWING NAME:	
		New Canopy/Entrance	
SCALE:		1:50	
DATE:	Dwg No:	0	Rev No:
16.9.04			

RETAIL, MECHANICAL Fixing as



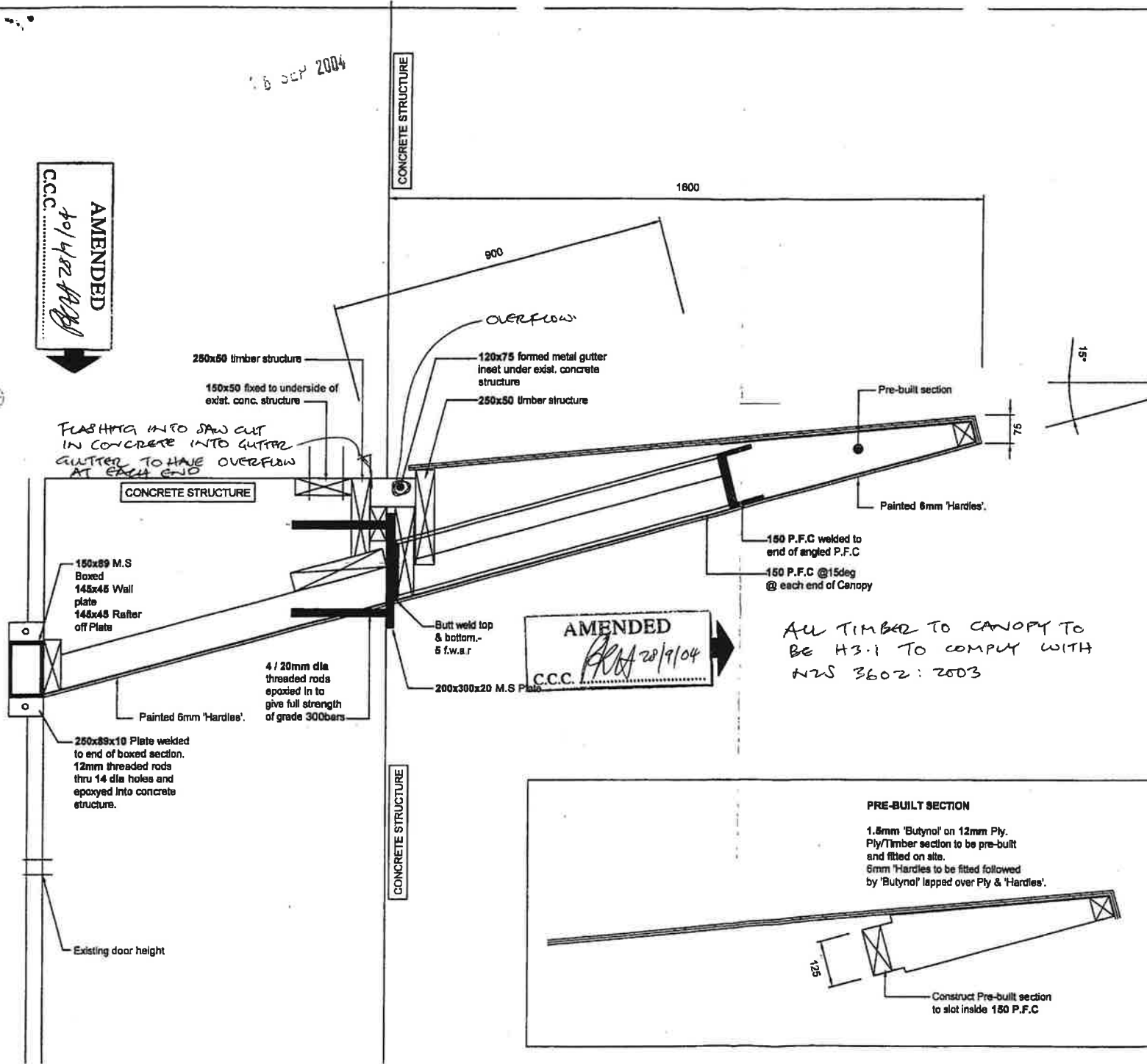
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NOTES

16 SEP 2004

16 SEP 2004

AMENDED
10/14/02
C.C.C.



AMENDED
20/9/04
C.C.C.

ALL TIMBER TO CANOPY TO BE H3.1 TO COMPLY WITH NZS 3602: 2003

CONSTRUCTION

CHRISTCHURCH CITY COUNCIL

CONSENT DOCUMENT

28 SEP 2004

All building work shall comply with the New Zealand Building Code - except for any inconsistencies which may occur in the drawings and specifications.

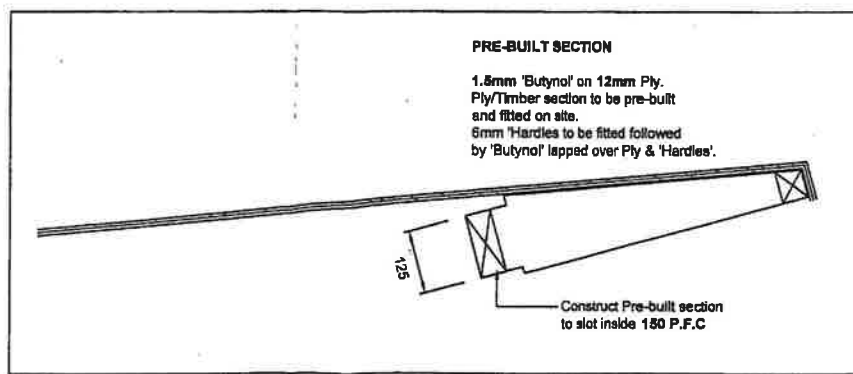
10047835

RECEIVED

20 SEP 2004

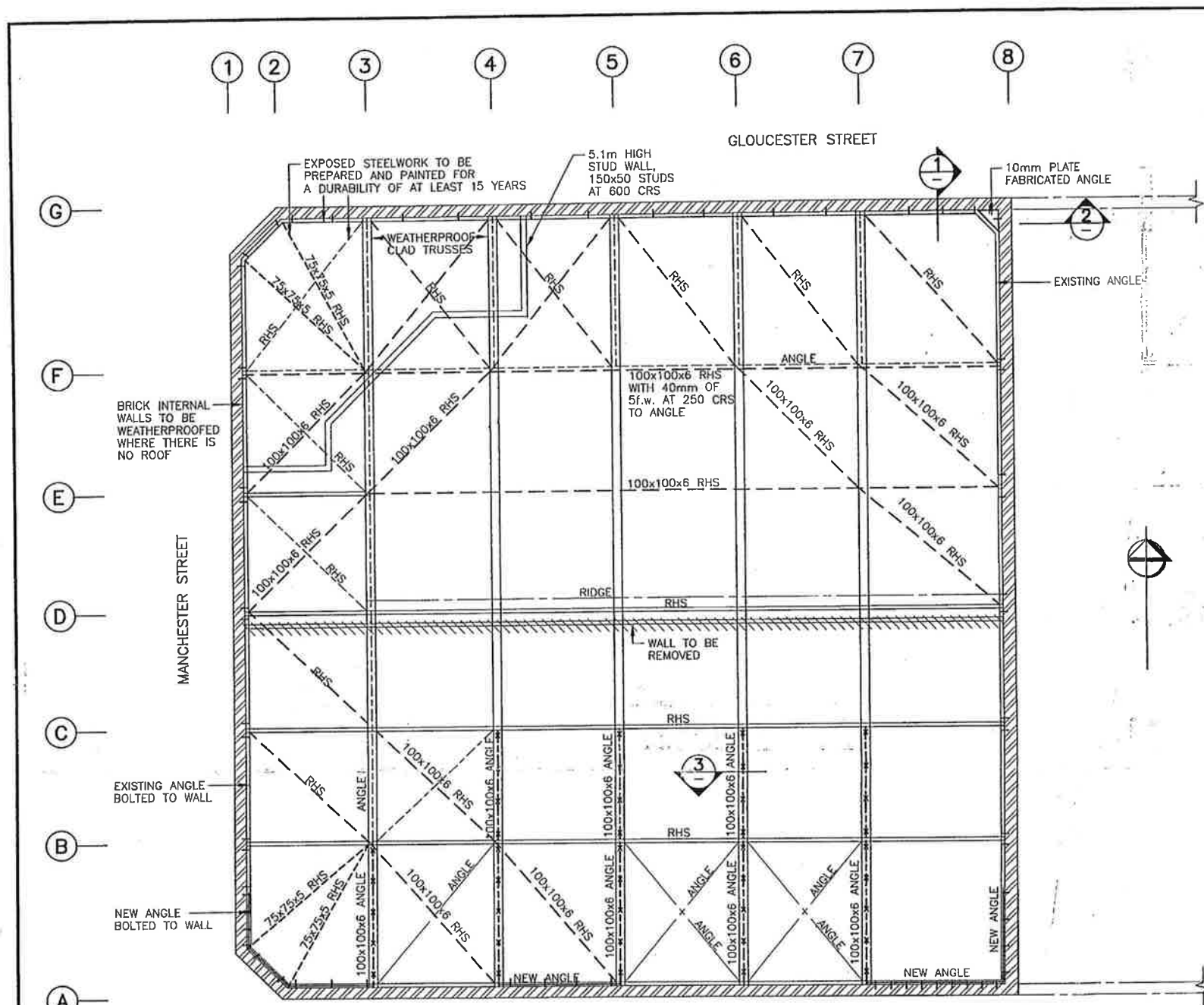
ENVIRONMENTAL SERVICES

REV	COMMENT	DATE



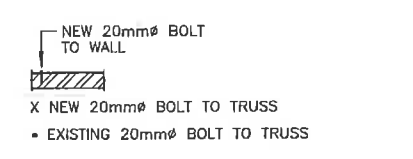
Revisions:	DATE OF THIS
DRAWN: CM	CHECKED: APPROVED: DATE:
JOB NAME:	CLIENT: CUE TIME
DRAWING NAME:	ENTRY CANOPY DETAIL
SCALE:	1:10
DATE: 16.9.04	Dwg No: 4a Rev No: 8.9.04
PO Box 8138 Christchurch New Zealand Phone 03 365 8688 Fax 03 365 8687 rmdesigns.co.nz	

DESIGNERS PROJECT

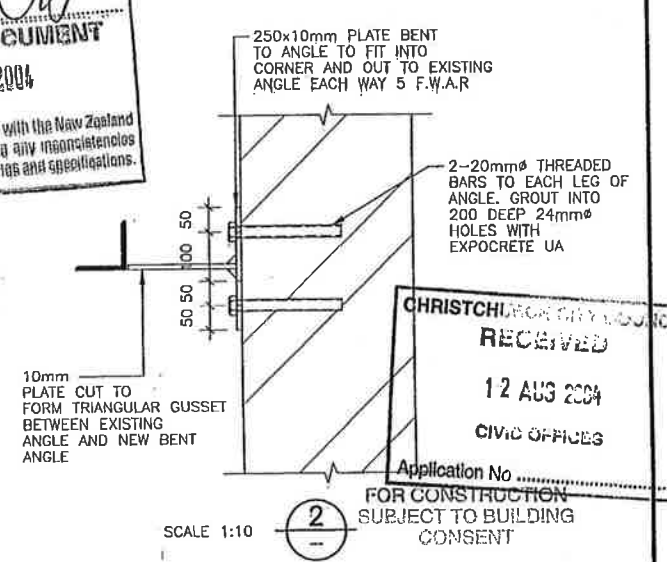
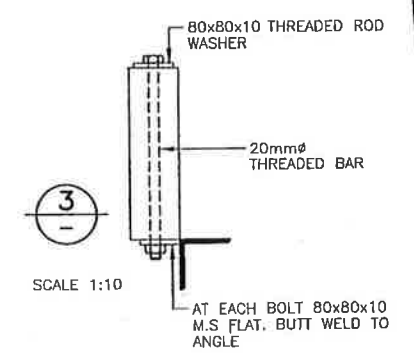
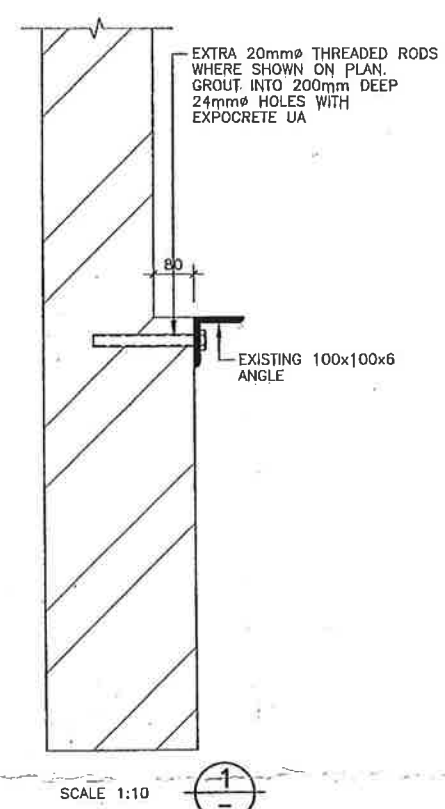


**ROOF STRUCTURE PLAN
AT PLANE OF BOTTOM CHORD**
SCALE 1:100

- NOTES:
1. ALL STRUCTURAL STEELWORK SHALL BE BHP-300 PLUS OR AS 3679.1-250 AS APPLICABLE.
 2. ALL WELDING SHALL COMPLY WITH A.S./N.Z.S.1554.1:2004. BUTT WELDS TO BE SP WELDS.
 3. THE PERIMETER ANGLE IS TO BE MADE CONTINUOUS AROUND THE WALLS BY A SINGLE V BUTT WELD WHERE NEW ANGLE JOINS EXISTING ANGLE AND AT EACH CHANGE OF DIRECTION.
 4. THE LINE OF STEEL MEMBERS SHALL MEET AT A POINT AND BE JOINED TOGETHER WITH A 5 F.W.A.R OR A SINGLE V BUTT WELD.
 5. ALL THREADED RODS NUTS AND WASHERS SHALL BE GALVANISED ALL OTHER STEEL WORK NOT EXPOSED SHALL BE PRIMED ONLY.



- KEY:
- OR --- RHS EXISTING 100x100x6 RHS
 - EXISTING 100x100x6 ANGLE
 - NEW 75x75x5 RHS
 - NEW 100x100x6 RHS
 - NEW 100x100x6 EDGE ANGLE
 - WALL TO BE REMOVED
 - BRICK WALL
 - NEW VERTICAL 20mm Ø BOLTS IN NEW 100x100x6 ANGLE
 - NEW GROUTED IN BOLT. ANGLE TO BRICK WALL



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BCP 1004-7885

CHRISTCHURCH CITY COUNCIL
RECEIVED
12 AUG 2004
CIVIC OFFICES
Application No.
FOR CONSTRUCTION SUBJECT TO BUILDING CONSENT

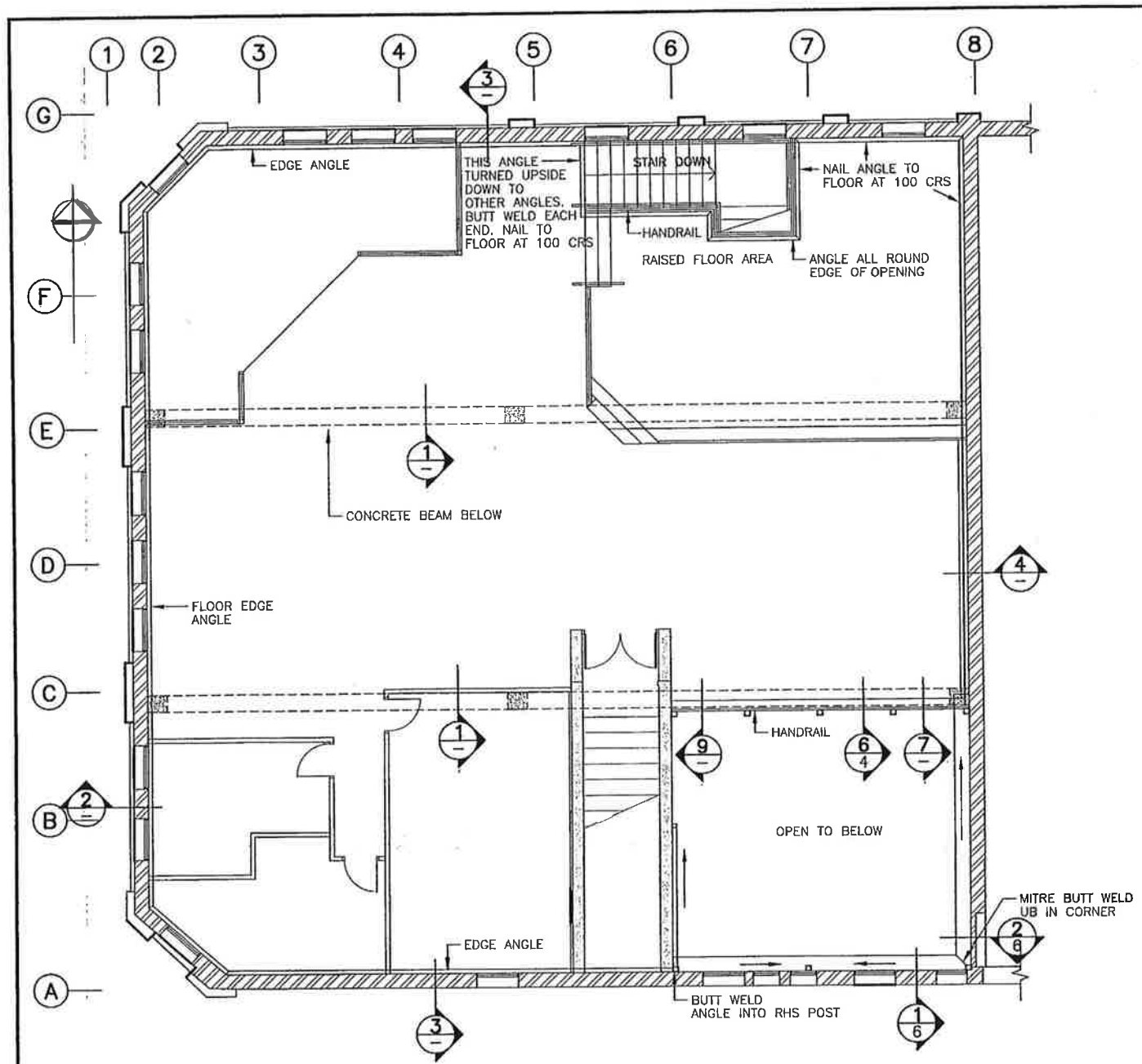
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LEWIS & BARROW LTD
Consulting Civil And Structural Engineers
183 Hereford Street (PO Box 13-282) - Christchurch - New Zealand
Ph: (03) 366-4320 Fax (03)365-7069, draught@lewisandbarrow.co.nz

DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK

**PROPOSED STRUCTURAL STRENGTHENING
CUE TIME MANCHESTER STREET**

ENG DSN. W.L	SCALE	FILE	DRAWING
DRN. M.C.	1:100	12646	1
ENG CKD. [Signature]	1:10		
DRN CKD. [Signature]		11 AUG 2004	OF
APP. [Signature]			
DATE 08/04			

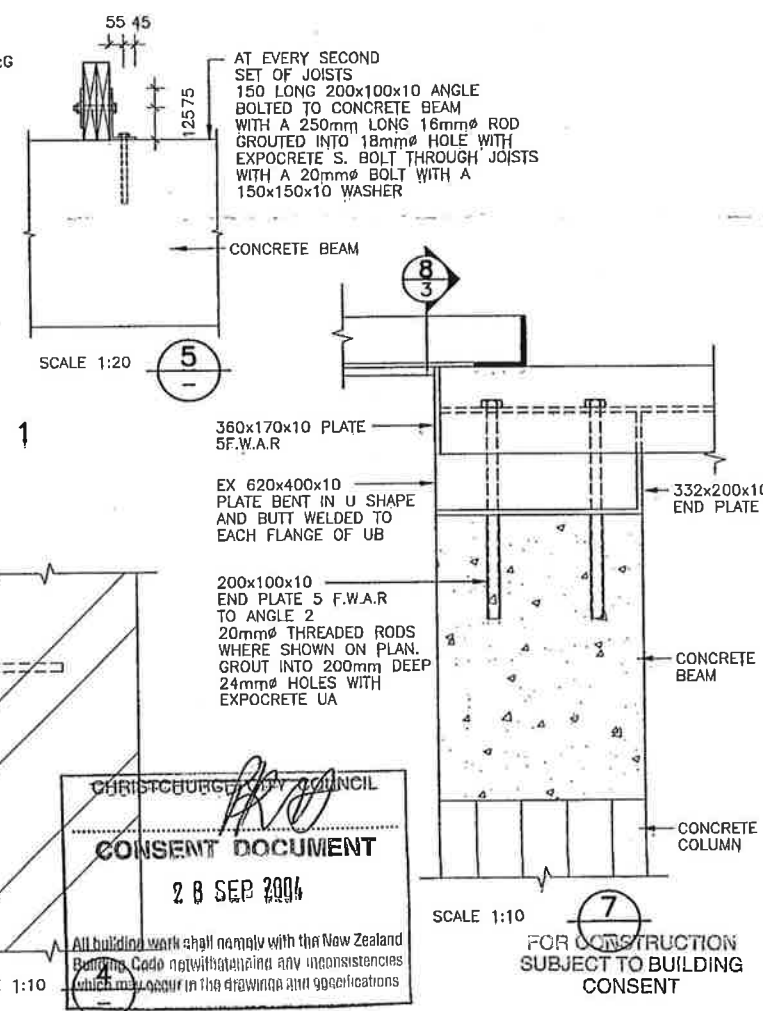
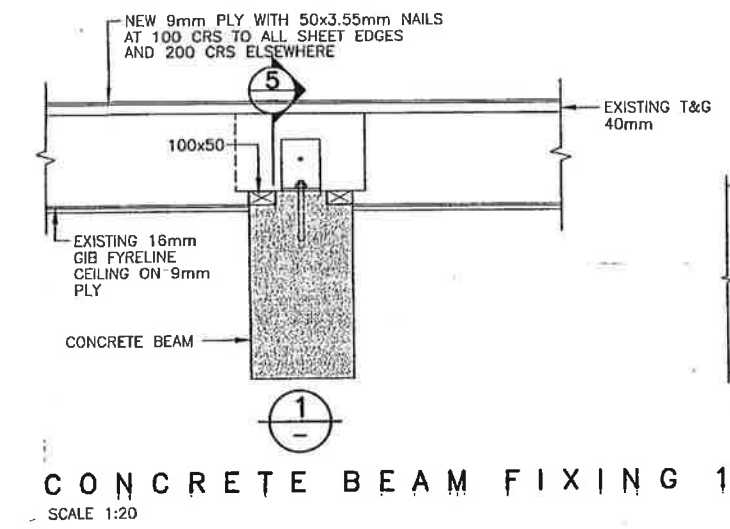
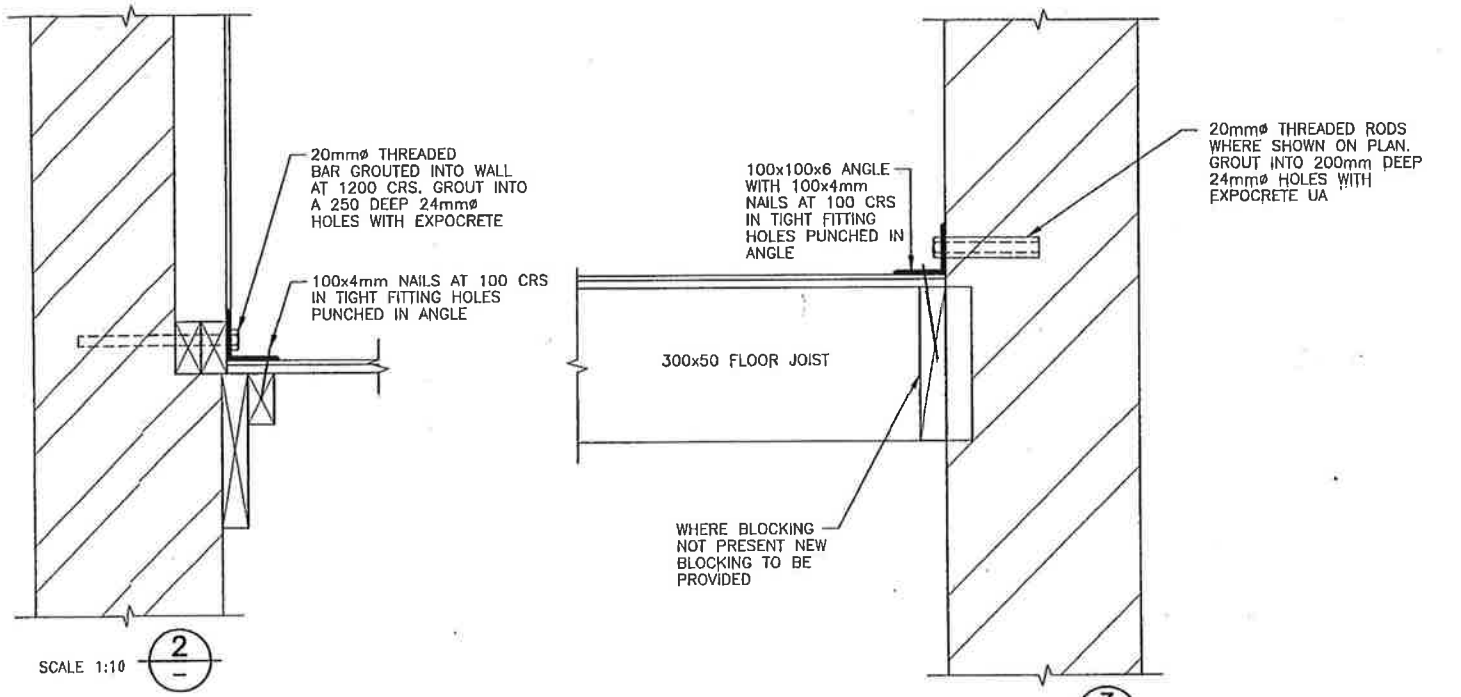
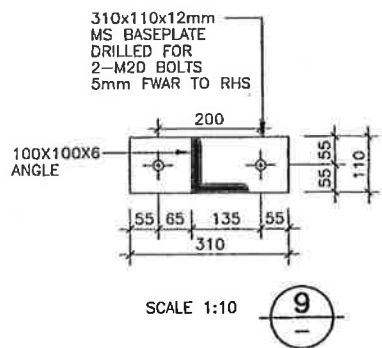


FIRST FLOOR STRUCTURE PLAN

SCALE 1:100

NOTES: ALL STEELWORK JOINS NOT OTHERWISE SPECIFIED SHALL BE 5F.W.A.R. BUTT WELD ANGLES TOGETHER AT CORNERS WITH A MITRE

KEY:
 → DENOTES STEEL RHS BRACE WITH ARROW POINTING DOWN



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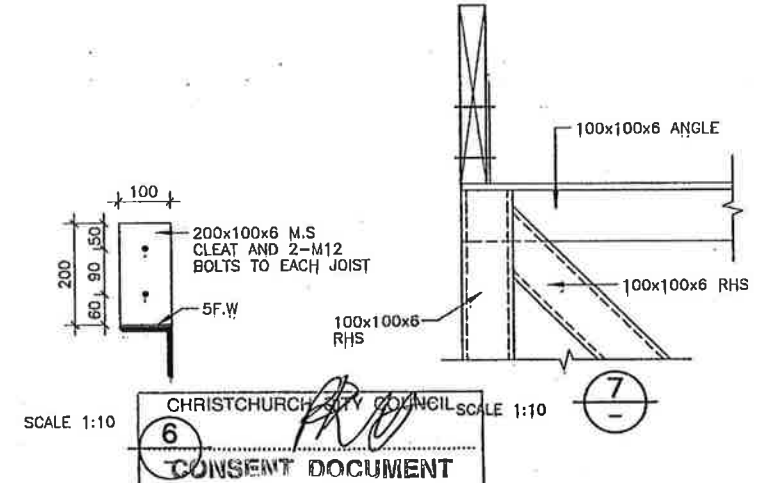
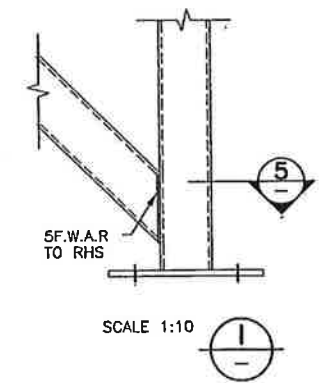
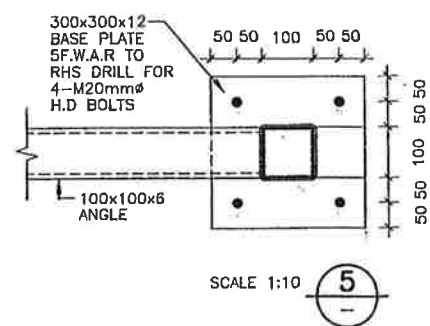
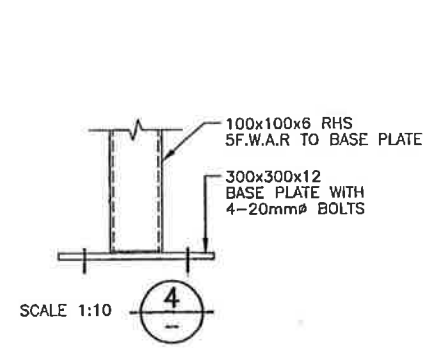
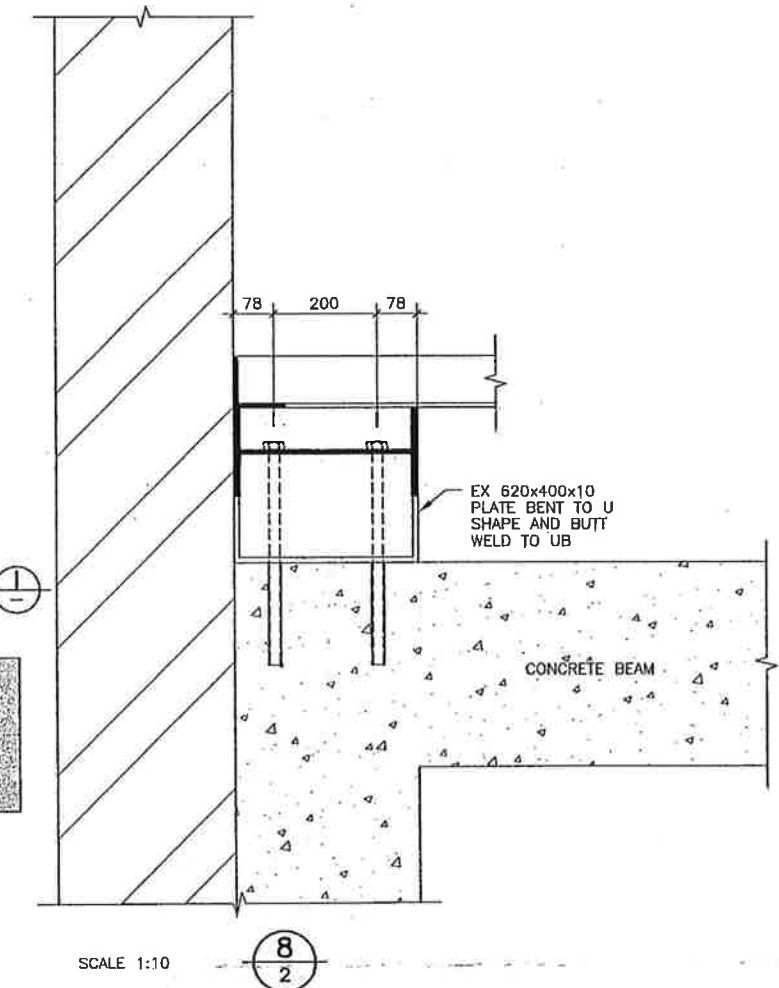
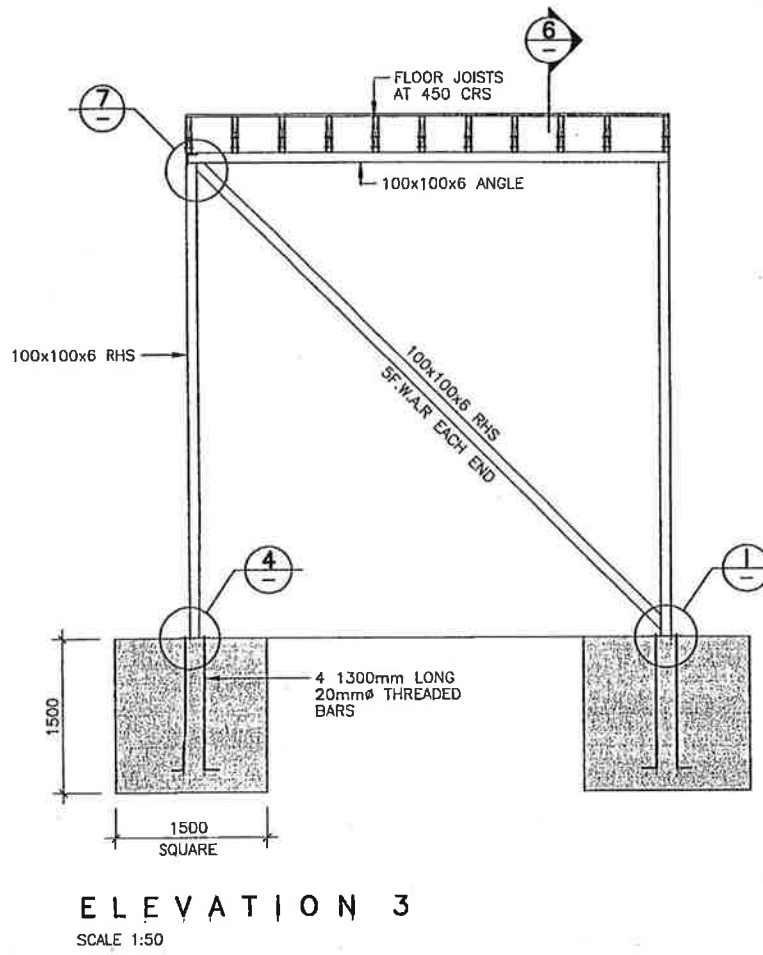
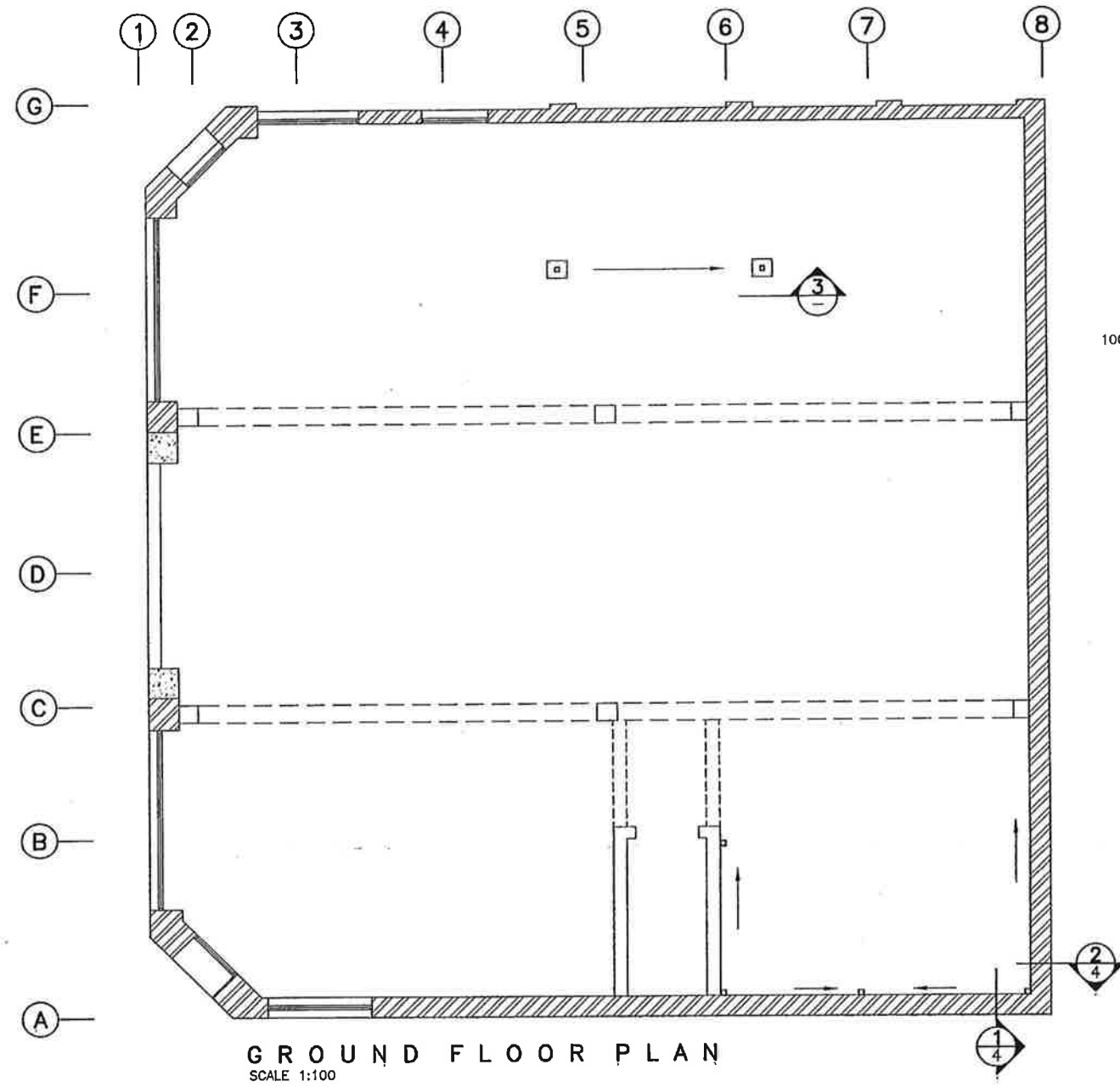
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 Ph: (03) 366-4320 Fax (03)365-7069, draught@lewisandbarrow.co.nz

PROPOSED STRUCTURAL STRENGTHENING
CUE TIME MANCHESTER STREET

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ENG DSH, W.L	SCALE	FILE	DRAWING
DRN. M.C	1:100	12646	2
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DRN CKD. W.L	1:10		
APP. W.L		11 AUG 2004	OF
DATE 08/04			

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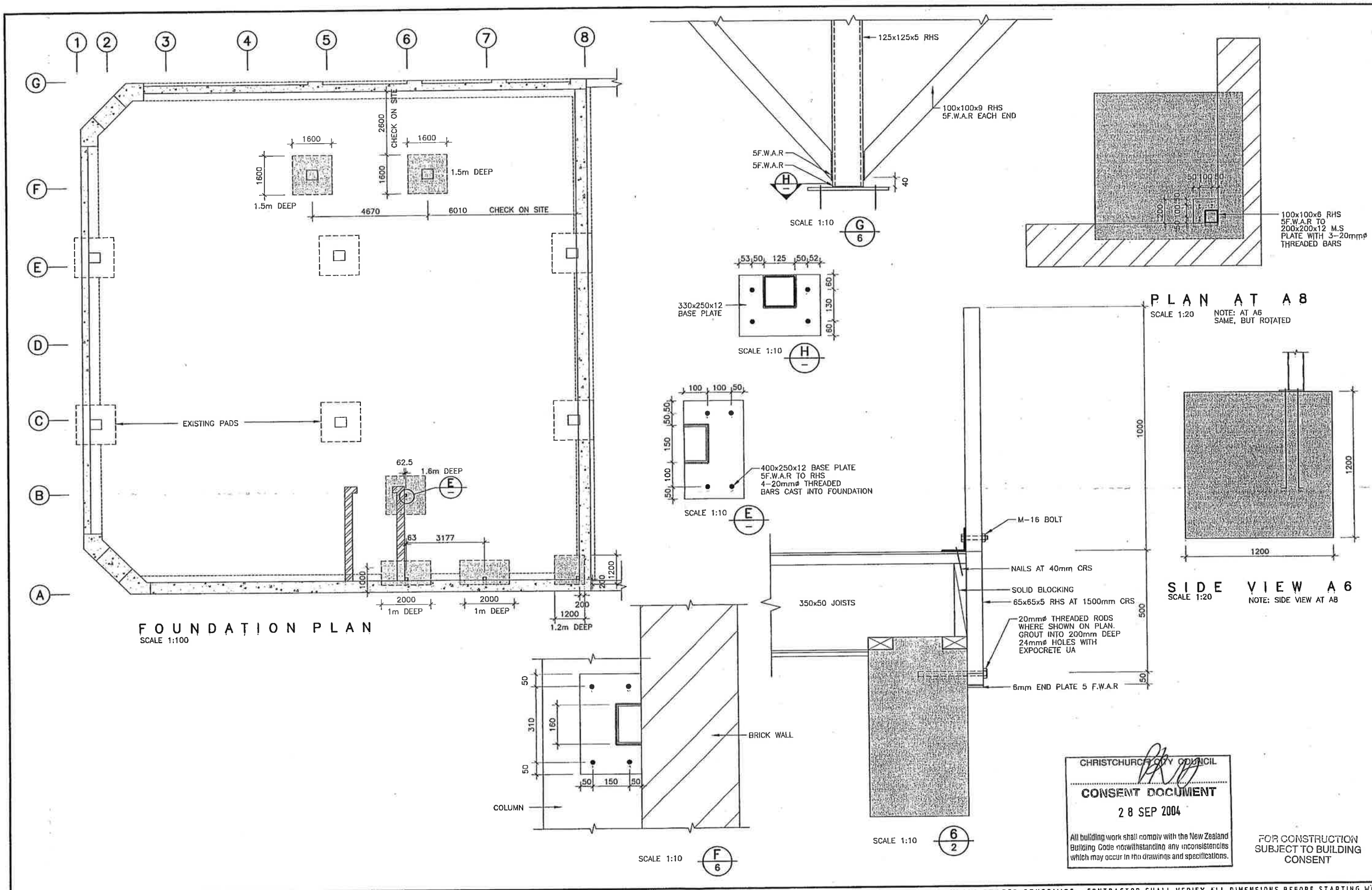
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 CUE TIME MANCHESTER STREET**

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APP. <i>ML</i>		11 AUG 2004	OF
DATE 08/04			

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FOR CONSTRUCTION
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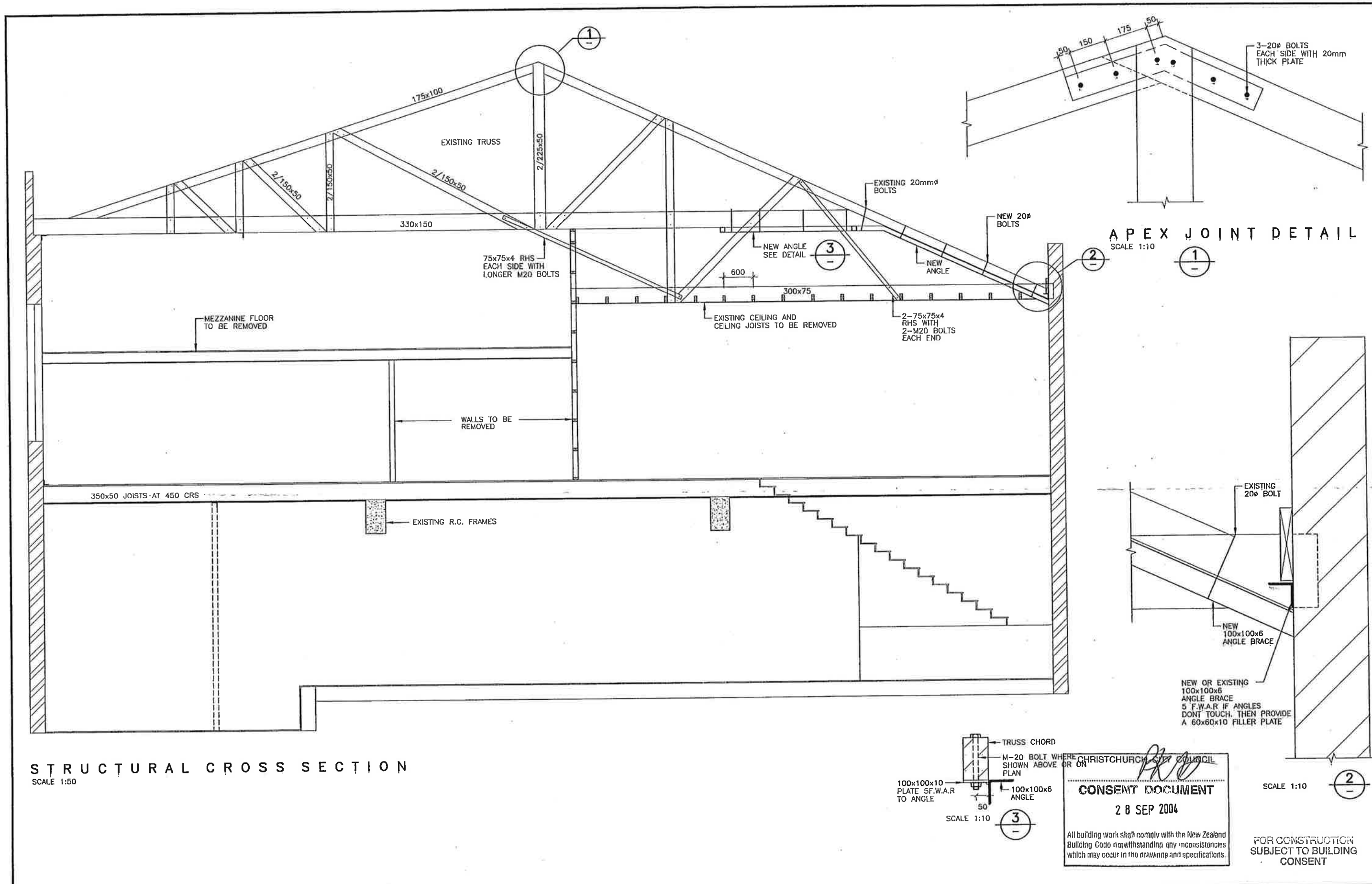
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PROPOSED STRUCTURAL STRENGTHENING
 CUE TIME MANCHESTER STREET

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APP. <i>[Signature]</i>		11 AUG 2004	OF
DATE 08/04			

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STRUCTURAL CROSS SECTION
SCALE 1:50

APEX JOINT DETAIL
SCALE 1:10

TRUSS CHORD
M-20 BOLT WHERE SHOWN ABOVE OR ON PLAN
100x100x10 PLATE 5F.W.A.R TO ANGLE
100x100x6 ANGLE
SCALE 1:10

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SCALE 1:10
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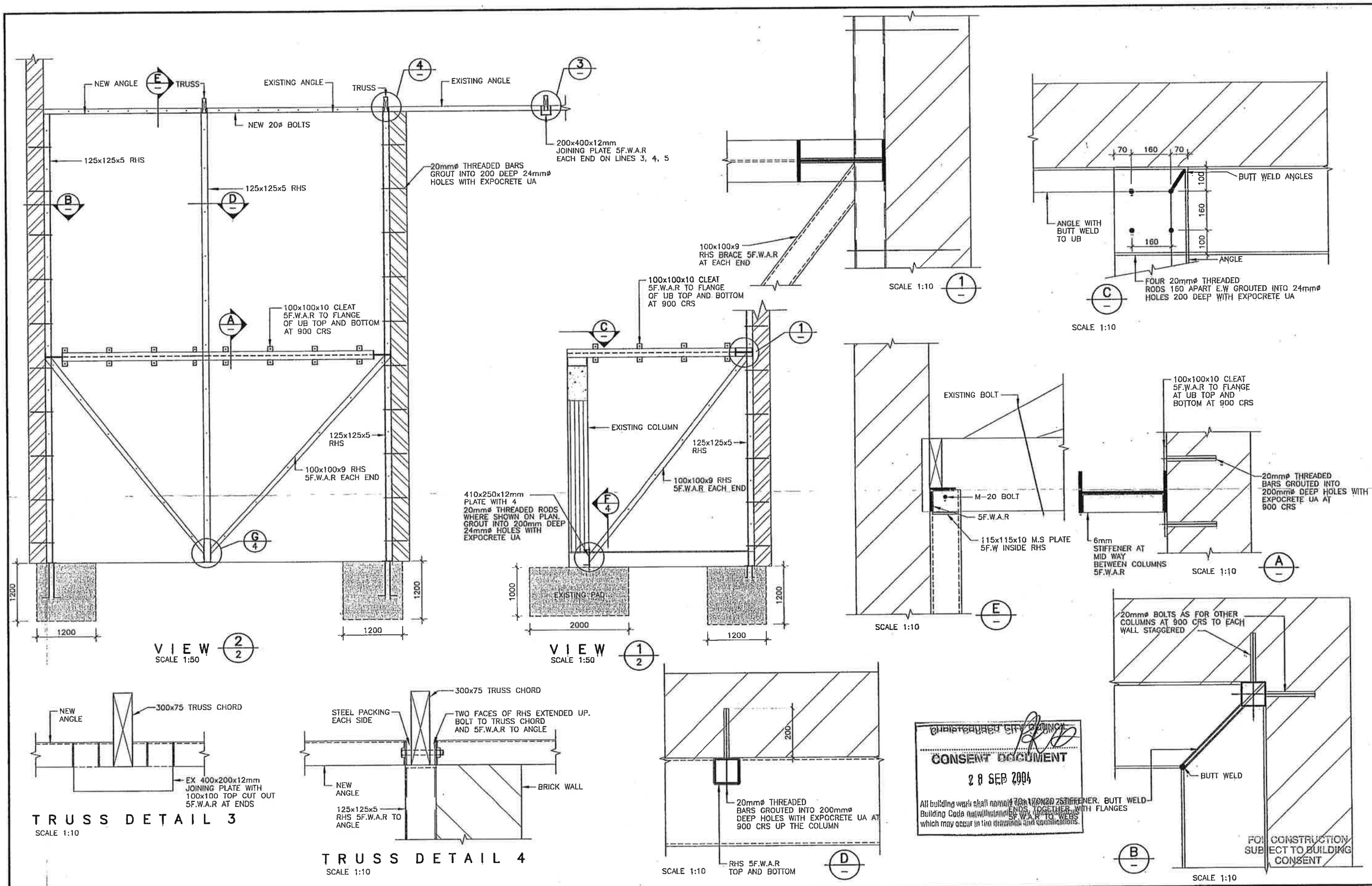
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PROPOSED STRUCTURAL STRENGTHENING
CUE TIME MANCHESTER STREET

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ENG CKD. [Signature]	1:10		
DRN CKD. [Signature]		11 AUG 2004	OF
APP. [Signature]			
DATE 08/04			

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**PROPOSED STRUCTURAL STRENGTHENING
 CUE TIME MANCHESTER STREET**

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ENG CKD. [Signature]	1:10		
DRN CKD. [Signature]		1 1 AUG 2004	OF
APP. [Signature]			
DATE 08/04			

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GREEN

Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials: MN Date of Inspection: 5-9-10 Exterior Only:
 Territorial Authority: Christchurch City Time: 10:10 Exterior and Interior:

Building Name: ICONIC BAR Manchester St
Short Name: 180A Manchester **Type of Construction:**
Address: SE Corner Gloucester & Manchester Timber frame Concrete shear wall
 Steel frame Unreinforced masonry
 Tilt-up concrete Reinforced masonry
 Concrete frame Confined masonry
 RC frame with masonry infill Other:
GPS Co-ordinates: S° _____ E° _____
Contact Name: _____
Contact Phone: _____
Stores at and above ground level: 2 **Below ground level:** _____
Total gross floor area (m²): 362 m² **Year built:** _____
No of residential Units: _____
Photo Taken: Yes No

Primary Occupancy:
 Dwelling Commercial/ Offices
 Other residential Industrial
 Public assembly Government
 School Heritage Listed
 Religious Other

Investigate the building for the conditions listed below:

Overall Hazards / Damage	Minor/None	Moderate	Severe	Comments
Collapse, partial collapse, off foundation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building or storey leaning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wall or other structural damage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhead falling hazard	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ground movement, settlement, slips	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Neighbouring building hazard	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED GREEN RESTRICTED USE YELLOW UNSAFE RED

Record any restriction on use or entry:

Further Action Recommended: N/A

Tick the boxes below only if further actions are recommended

- Barricades are needed (state location):
- Level 2 or detailed engineering evaluation recommended
 - Structural
 - Geotechnical
 - Other:
- Other recommendations:

Estimated Overall Building Damage (Exclude Contents)

None	<input type="checkbox"/>		
0-1 %	<input checked="" type="checkbox"/>	31-60 %	<input type="checkbox"/>
2-10 %	<input type="checkbox"/>	61-99 %	<input type="checkbox"/>
11-30 %	<input type="checkbox"/>	100 %	<input type="checkbox"/>

Sign here on completion

[Signature]

Date & Time: 5-9-10
 ID: (MN) NM51

Inspection ID NM51 (Office Use Only)



ICONIC BAR

Project Name: IB - RSA
Project No: #
S.R. No: 1
Date: 8/9/10
Reviewed By: A. MURAHID



Daryl Fraser

iconicbar@xtra.co.nz
dazza25@xtra.co.nz
www.iconicbar.co.nz

200 Manchester St
Christchurch
Mob 021 753 528
Ph 03 3661391
Fax 03 366 3071

Work Reviewed:

ICONIC BAR
- RAPID STRUCTURAL ASSESSMENT

Observations & Comments:

Exterior

- minor cracking to skim coat on exterior
- minor cracking to pointing along south wall

Lower Floor

- no visible damage

Upper Floor

- no visible damage

- ready to occupy (GREEN)

A. MURAHID

(021 606 532)

Copies to: Daryl Fraser (Iconic Bar)

SPEC

C3

Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials

SJL
Christchurch City

Date of Inspection

10-9-16
9:34

Exterior Only
Exterior and Interior

Building Name

Short Name

180B ICONIC BAR

Type of Construction

Address

180B MANCHESTER

Timber frame

Concrete shear wall

Steel frame

Unreinforced masonry

Tilt-up concrete

Reinforced masonry

GPS Co-ordinates

S°

E°

Concrete frame

Confined masonry

Contact Name

RC frame with masonry infill

Other:

Contact Phone

Storeys at and above ground level

2

Below ground level

Primary Occupancy

Dwelling

Commercial/ Offices

Total gross floor area (m²)

Year built

Other residential

Industrial

No of residential Units

Public assembly

Government

Photo Taken

Yes

No

School

Heritage Listed

Religious

Other

Investigate the building for the conditions listed below:

Overall Hazards / Damage

Minor/None

Moderate

Severe

Comments

Collapse, partial collapse, off foundation

Building or storey leaning

Wall or other structural damage

Overhead falling hazard

Ground movement, settlement, slips

Neighbouring building hazard

Other

evacuated
Parapet cracks

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED GREEN

RESTRICTED USE YELLOW

UNSAFE RED

Record any restriction on use or entry:

Further Action Recommended:

Tick the boxes below only if further actions are recommended

Barricades are needed (state location): 40m

Level 2 or detailed engineering evaluation recommended

Structural

Geotechnical

Other:

Other recommendations:

Detailed assessment
LJF interview says OK

Estimated Overall Building Damage (Exclude Contents)

None

0-1 %

31-60 %

2-10 %

61-99 %

11-30 %

100 %

Lot ID P82913
863410

Sign here on completion

Date & Time ID

10-9-16 9:34

Inspection ID SJL 101 (Office Use Only)

Warren R. Lewis BE (Hons) MIPENZ CPEng. ANZIM
 Stephen W. Barrow BE (Hons) MIPENZ



LEWIS & BARROW LTD
 Consulting Civil and Structural Engineers

PRODUCER STATEMENT STRUCTURAL DESIGN

183 Hereford Street
 Christchurch
 New Zealand
 P.O. Box 13-282
 Armagh, Christchurch 8141
 Telephone (03) 366-4320
 Fax (03) 365-7069
 Email eng@lewisandbarrow.co.nz
 www.lewisandbarrow.co.nz

Issued By: **Lewis and Barrow Ltd**
 To: **Christchurch City Council**
 In Respect Of: **Structural Strengthening and Alterations**
 At: **Iconic Bar, 200 Manchester Street, Christchurch**
Lot 1 DP 408636

File No. **18503**^{WRL}



Lewis & Barrow Ltd has been engaged by **Daryl Fraser** to provide the structural Engineering design of **extensions to existing first floor, new platform above main stair and new earthquake structural strengthening at roof line** in respect of the requirements of Clause B1/VM1 of the NZ Building Code for those parts as specified above of the building work. The design has been prepared in accordance with **B1/VM1** of the approved documents issued by the Department of Building and Housing and the work is described on **Lewis and Barrow Ltd** drawings titled **Structural Strengthening and Alterations, Iconic Bar, 200 Manchester Street, Christchurch** numbered **18503/1-7** and dated **Nov 2010** according to which the building is proposed to be constructed.

On behalf of Lewis & Barrow Ltd, currently a member of the Association of Consulting Engineers of N.Z., and subject to all of the following design assumptions:

- i. the ground supporting foundations has an ultimate bearing capacity of at least **300kPa** which is to be verified on site,
- ii. the Project Information Memorandum (PIM) for the site not revealing any adverse site conditions, that could affect the structural design,
- iii. all work not otherwise specified above being in compliance with the NZ Building Code,
- iv. all proprietary products meeting the performance specification requirements,
- v. this Producer Statement – Structural Design will be valid for 1 year only from the date of issue

I believe on reasonable grounds that the drawings according to which those parts of the building as specified above are proposed to be constructed, comply with the relevant provisions of B1/VM1 of the NZ Building Code.

Warren R Lewis
 B.E. (Hons) MIPENZ CPEng. ANZIM

On behalf of LEWIS & BARROW LTD.

Date **22 November 2010**
 CPEng Ref. No **33543**
 Member ACENZ, IPENZ

Inspections

Inspections of the structure by Lewis and Barrow Ltd.

1. Before steel is enclosed.

Inspections by the Territorial Authority.

1. All inspections required to verify compliance with the New Zealand Building Code.


SUMMARY OF STRUCTURAL CALCULATIONS
FOR FLOOR INFILL AT CNR GLOUCESTER ST & MANCHESTER
STREET.

Floor Joists
 span = 6.5m

$$G = 0.35 \text{ kPa}$$

$$Q = 5 \text{ kPa}$$

MINIMUM
 Probably need
 two layers

$$\psi_2 = 0.6$$

$$E_0 = 1.2 \times 0.35 + 1.5 \times 5$$

$$= 7.92 \text{ kPa}$$

Use 21mm Plywood
 Use at 450 c/s

$$E_s = 0.6 \times 5 = 3 \text{ kPa}$$

$$\therefore \text{UH load} = 6.5 \times 0.45 \times 7.92$$

$$= 23.2 \text{ kN}$$

Try Hyjoists. $F_b = 42 \text{ MPa}$

$$\phi = 0.8 \quad k_1 = 0.8 \quad k_5 = 1$$

$$\frac{d}{b} = 5.6$$

$$\frac{L_{ay}}{b} = \frac{300}{60} = 5$$

$$\therefore k_8 = 0.9 \text{ say}$$

$$\therefore k_b = 0.8 \times 0.8 \times 0.8 \times 42 = 21.5 \text{ MPa}$$

363x63

$$Z = 1383 \text{ cm}^3$$

$$\therefore \phi M_n = 21.5 \times 1383 =$$

$$= 29.7 \text{ kNm}$$

$$M^* = \frac{23.2 \times 6.5}{8} = 19 \text{ kNm} \quad \therefore \checkmark$$

$$E_s \text{ load} = 6.5 \times 0.45 \times 3$$

$$= 8.8 \text{ kN}$$

$$\delta = \frac{8.8 \times 6.5^3}{0.132 \times 251 \times 76} = 9.6 \text{ mm}$$

$$\text{Allowed } \frac{L}{300}$$

$$= 22 \text{ mm}$$

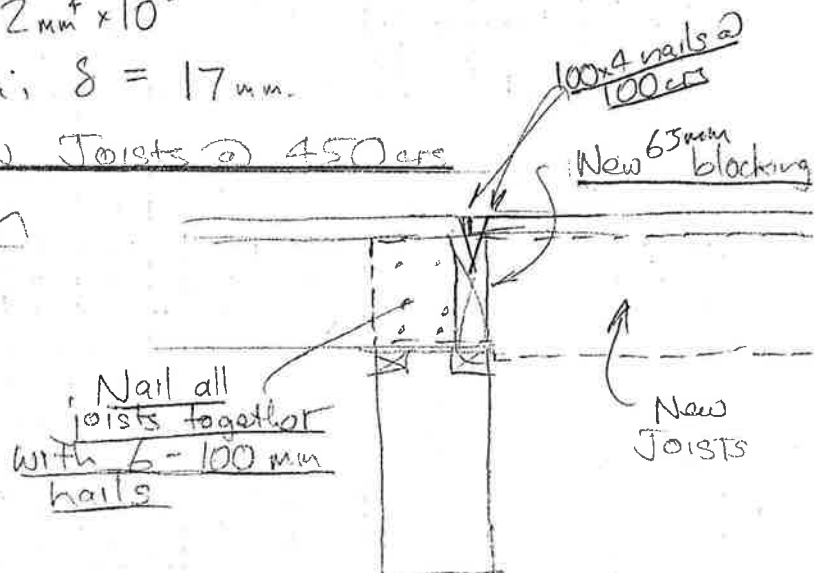
Try 300x63

$$I = 142 \text{ mm}^4 \times 10^6$$

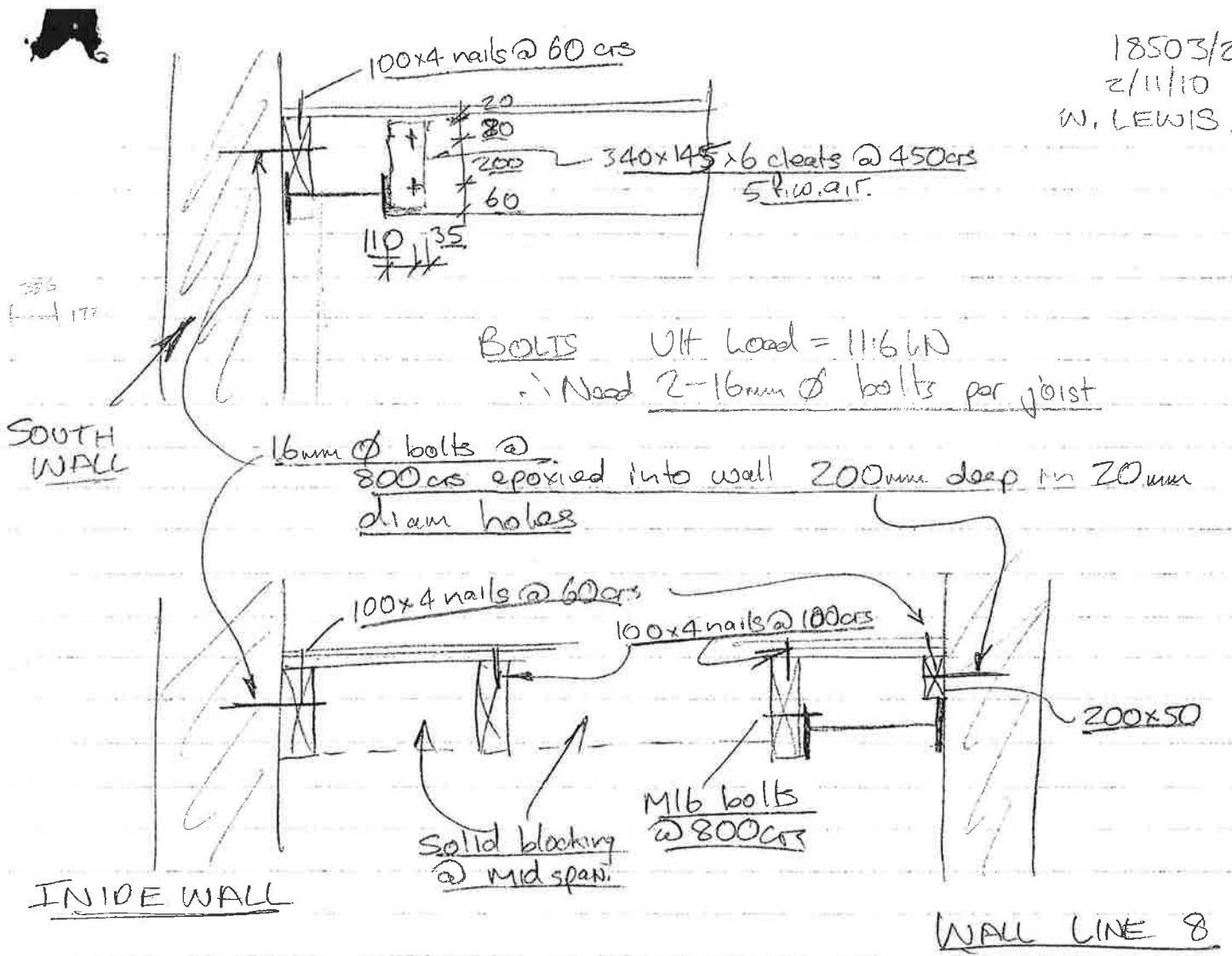
$$\therefore \delta = 17 \text{ mm}$$

Use 360x63 Hyspan Joists @ 450 c/s

SEATING AT CONC BEAM



18503/2
2/11/10
W. LEWIS.



CHECK 360UB51 CAPACITY TO TAKE VERT LOAD LINE A

Span between columns = 3.2m

$$U/LT \text{ Load/m} = \frac{6.5}{2} \times 7.92 = 25.7 \text{ kN}$$

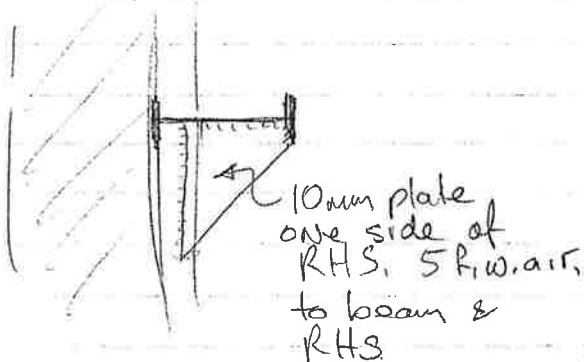
$$\therefore M^* = \frac{25.7 \times 3.2 \times 3.2}{10}$$

$$= 26.3 \text{ kNm}$$

$$\phi M_{xx} = 0.9 \times 0.3 \times 113 = 30.5 \text{ kNm}$$

∴ Need to reduce the span to 2.3m.

by inserting two 100x100x5 RHS columns
with 250x120x10 base plates 5 P.W.A.R. to
U/s of steel beam and bolt to floor with 2-
T16 125 Trubolts in each base plate



18503/3
19/11/10
W. LEWIS

PROVIDE STEEL BEAM TO 1/2 JOIST SPANS

FLOOR JOISTS

$M^* = \frac{7.92 \times 3.3 \times 3.3 \times 0.45}{8} = 4.85 \text{ kNm}$

Span = 3.3m. Try MSG 8 Timber.

$f_b = 14 \text{ MPa}$, $\phi = 0.8$, $k_1 = 0.8$, $k_2 = 1$
 $\frac{d}{b} = 5.3$, $L_{ay}/b = \frac{3000}{45} = 67$, $\therefore k_3 = 0.9$ say
 $\therefore \phi k f_b = 1.8 \times 0.8 \times 0.9 \times 14$

$= 8.1 \text{ MPa}$
 Req'd $Z = \frac{4.85}{8.1} = 600 \text{ cm}^3$

$I = \frac{240 \times 45^3}{12 \times 10^6} = \frac{290 \times 45^3}{91 \times 10^6}$
 $Z = 432,000 \quad 630,750$

\therefore Use 300x50's @ 450 c/c's.

$E_s = 3.3 \times 0.145 \times 3 = 4.4 \text{ kN}$

$\delta = \frac{4.4 \times 3.3^3}{76 \times 9.8 \times 0.008} = 3 \text{ mm}$

Allowable = $\frac{3300}{300} = 11 \text{ mm}$

\therefore Well OK.

STEEL BEAM

Span = 6.8m.

Ult Load = $6.8 \times 3.3 \times 7.92 = 177 \text{ kN}$

$M^* = 151 \text{ kNm}$

$L_{eff} = 0.45 \text{ m}$ \therefore Use 310 UB 40

$E_s = 3.3 \times 6.8 \times 5 = 112 \text{ kN}$

$\delta = \frac{112 \times 6.8^3}{76 \times 1.2 \times 85.12} = 26 \text{ mm}$

allowable = $\frac{6800}{360} = 19 \text{ mm}$

\therefore Req'd $I = \frac{26}{19} \times 85.12 = 117 \times 10^6 \text{ mm}^4$

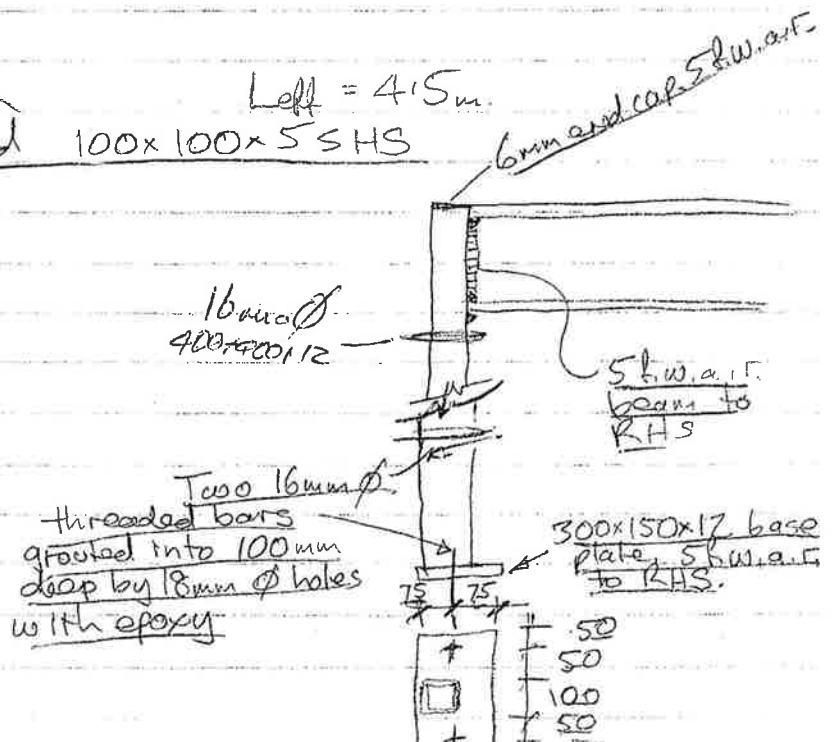
\therefore Use 360 UB 45.

COLS

UH Load = 90 kN each

$L_{eff} = 4.5 \text{ m}$

\therefore Need 100x100x5 SHS



SUMMARY OF STRUCTURAL CALCULATIONS FOR FLOOR INFILL AT CNR GLOUCESTER ST & MANCHESTER STREET

Floor Joists

Span = 6.5 m

G = 0.35 kPa

Q = 5 kPa

$\phi_s = 0.6$

$$E_u = 1.2 \times 0.35 + 1.5 \times 5$$

$$= 7.92 \text{ kPa}$$

MINIMUM
Probably need
Two layers
Use 21mm Plywood
Use at 450 c/s

$E_s = 0.6 \times 5 = 3 \text{ kPa}$

$$\therefore \text{Ult Load} = 6.5 \times 0.45 \times 7.92$$

$$= 23.2 \text{ kN}$$

Try Hyspan $F_b = 42 \text{ MPa}$

$\phi = 0.8$ $k_1 = 0.8$ $k_5 = 1$

$\frac{d}{b} = 5.6$

$\frac{L_{ay}}{b} = \frac{300}{60} = 5$

$\therefore k_8 = 0.9$ say

$\therefore k_b = 0.8 \times 0.8 \times 0.8 \times 42 = 21.5 \text{ MPa}$

363x63

$Z = 1383 \text{ cm}^3$

$\therefore \phi M_{ns} = 21.5 \times 1383 =$

$= 29.7 \text{ kNm}$

$M^* = \frac{23.2 \times 6.5}{8} = 19 \text{ kNm}$

 \therefore ✓

$E_s \text{ load} = 6.5 \times 0.45 \times 3$

$= 8.8 \text{ kN}$

$\delta = \frac{8.8 \times 6.5^3}{0.132 \times 251 \times 76} = 9.6 \text{ mm}$

Allowed $\frac{L}{300}$

$= 22 \text{ mm}$

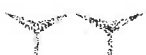
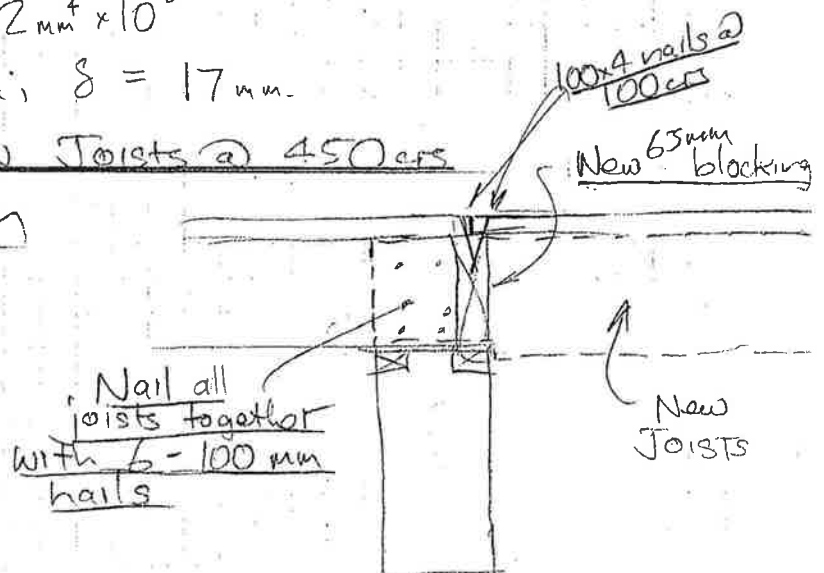
Try 300x63

$I = 142 \text{ mm}^4 \times 10^6$

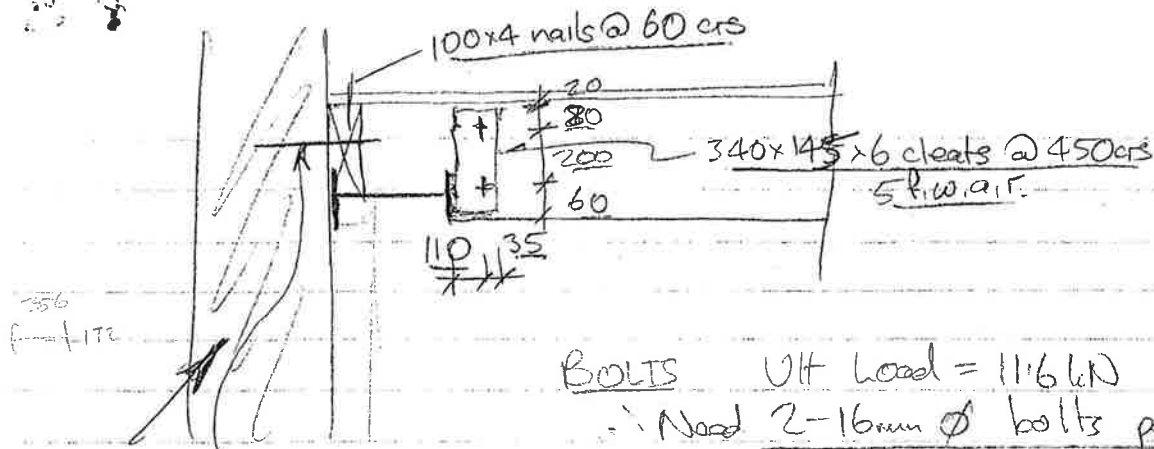
$\therefore \delta = 17 \text{ mm}$

Use 360x63 Hyspan Joists @ 450 c/s

SEATING AT CONC BEAM

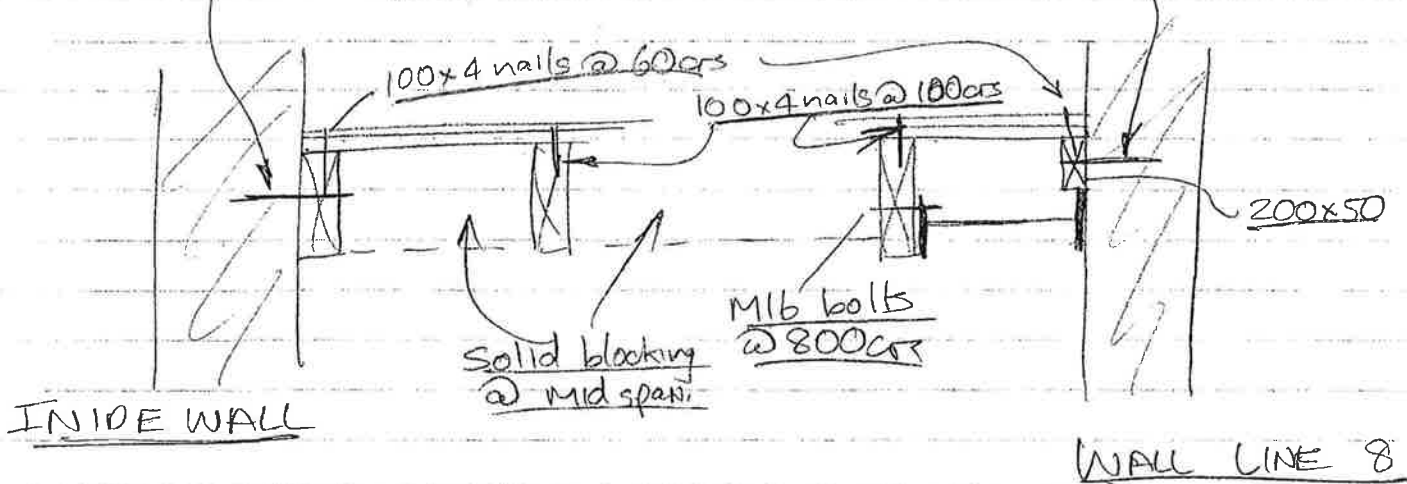


18503/2
2/11/10
W. LEWIS



BOLTS U/L Load = 11.6 kN
∴ Need 2-16mm ϕ bolts per joist

SOUTH WALL 16mm ϕ bolts @ 800 c/s epoxied into wall 200mm deep in 20mm diam holes



CHECK 360 UB 51 CAPACITY TO TAKE VERT LOAD LINE A

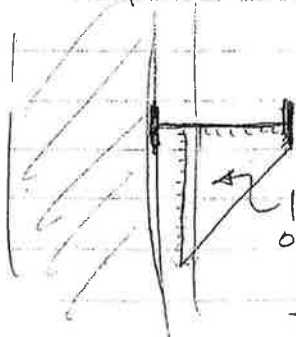
Span between columns = 3.2m

U/L Load/m = $\frac{6.5}{2} \times 7.92 = 25.7 \text{ kN}$

∴ $M^* = \frac{25.7 \times 3.2 \times 3.2}{10}$

= 26.3 kNm

$\phi M_{yx} = 0.9 \times 0.13 \times 113 = 30.5 \text{ kNm}$



10mm plate one side of RHS, 5 P.W.A.R. to beam & RHS

∴ Need to reduce the span to 2.3m.

by inserting two 100x100x5 RHS columns with 250x120x10 base plates 5 P.W.A.R. to U/s of steel beam and bolt to floor with 2-T16 125 Trubolts in each base plate

18503/3
19/11/10
W. LEWIS

PROVIDE STEEL BEAM TO 1/2 JOIST SPANS

FLOOR JOISTS

$M^* = \frac{7.92 \times 3.3 \times 3.3 \times 0.45}{8} = 4.85 \text{ kNm}$

Span = 3.3m Try MSG 8 Timber

$f'_b = 14 \text{ MPa}$ $\phi = 0.8$ $k_1 = 0.8$ $k_5 = 1$
 $\frac{d}{b} = 5.3$ $L_{ay} = \frac{300}{45} = 6.7$ $\therefore k_2 = 0.9 \text{ say}$

$\therefore \phi k f'_b = 1.8 \times 0.8 \times 0.9 \times 14 = 8.1 \text{ MPa}$

Req'd $Z = \frac{4.85}{8.1} = 600 \text{ cm}^3$

\therefore Use 300x50's @ 450 c/c

$I = \frac{240 \times 45^3}{12 \times 10^6}$	$\frac{290 \times 45^3}{12 \times 10^6}$
$432,000$	$630,750$

$E_s = 3.3 \times 0.45 \times 3 = 4.4 \text{ kN}$

$\delta = \frac{4.4 \times 3.3^3}{76 \times 9.8 \times 0.008} = 3 \text{ mm}$

Allowable = $\frac{3300}{300} = 11 \text{ mm}$

\therefore Well O.K.

STEEL BEAM

Span = 6.8m

Ult Load = $6.8 \times 3.3 \times 7.92 = 177 \text{ kN}$

$M^* = 151 \text{ kNm}$

$L_{eff} = 0.45 \text{ m}$ \therefore Use 310 UB 40

$E_s = 3.3 \times 6.8 \times 5 = 112 \text{ kN}$

$\delta = \frac{112 \times 6.8^3}{76 \times 12 \times 8512} = 26 \text{ mm}$

allowable = $\frac{6800}{360} = 19 \text{ mm}$

\therefore Req'd $I = \frac{26}{19} \times 8512 = 117 \times 10^6 \text{ mm}^4$

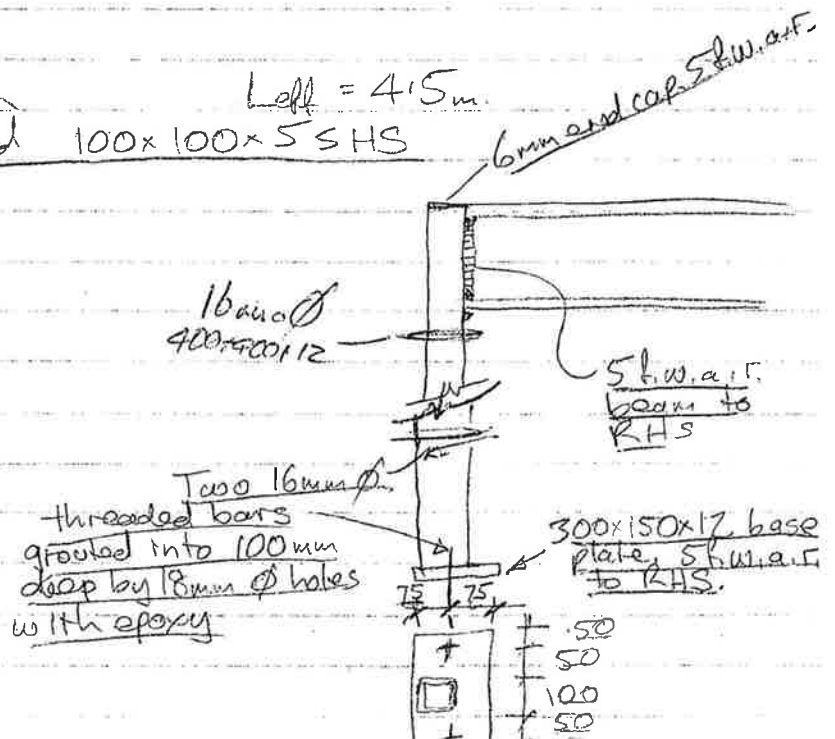
\therefore Use 360 UB 45

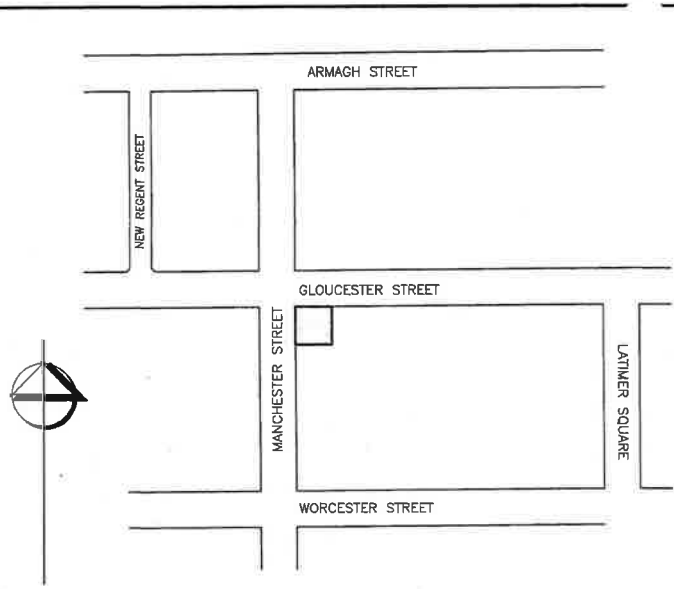
COLS

UH Load = 90 kN each

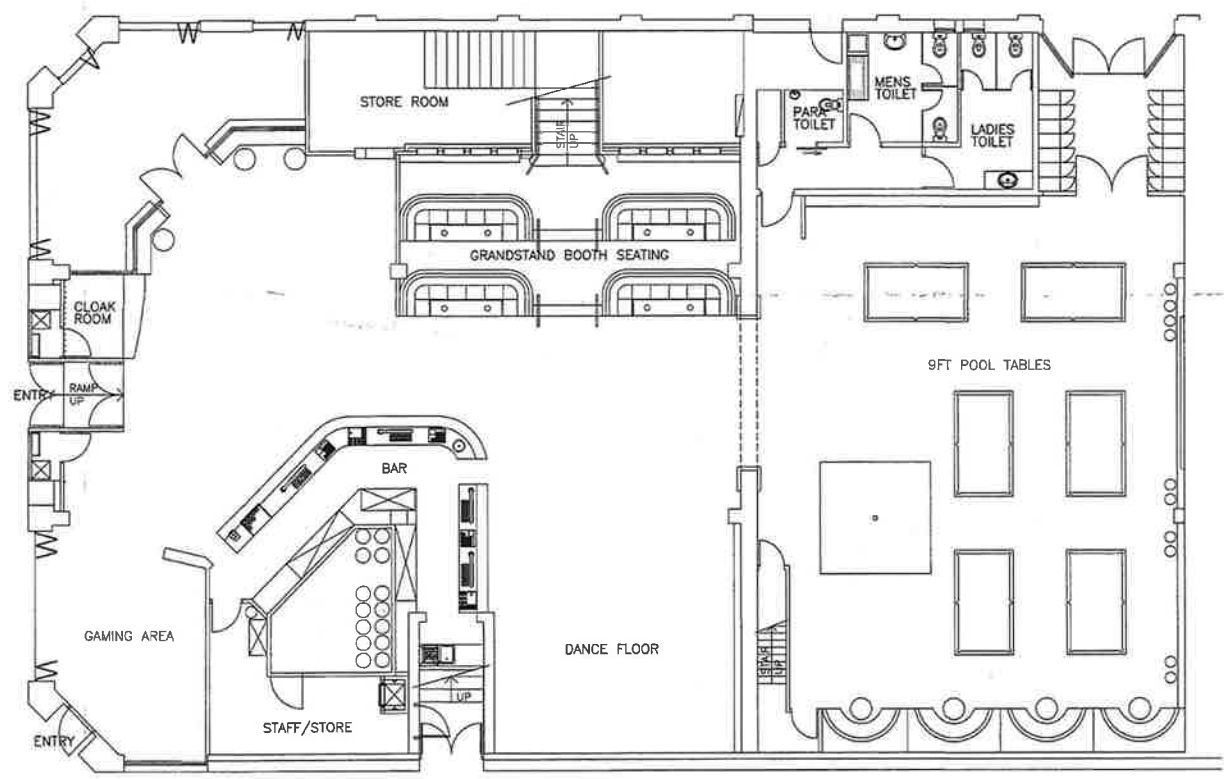
$L_{eff} = 4.5 \text{ m}$

\therefore Need 100x100x5 SHS





LOCALITY PLAN
SCALE 1:2000



EXISTING GROUND FLOOR PLAN
SCALE 1:100

FOR BUILDING CONSENT
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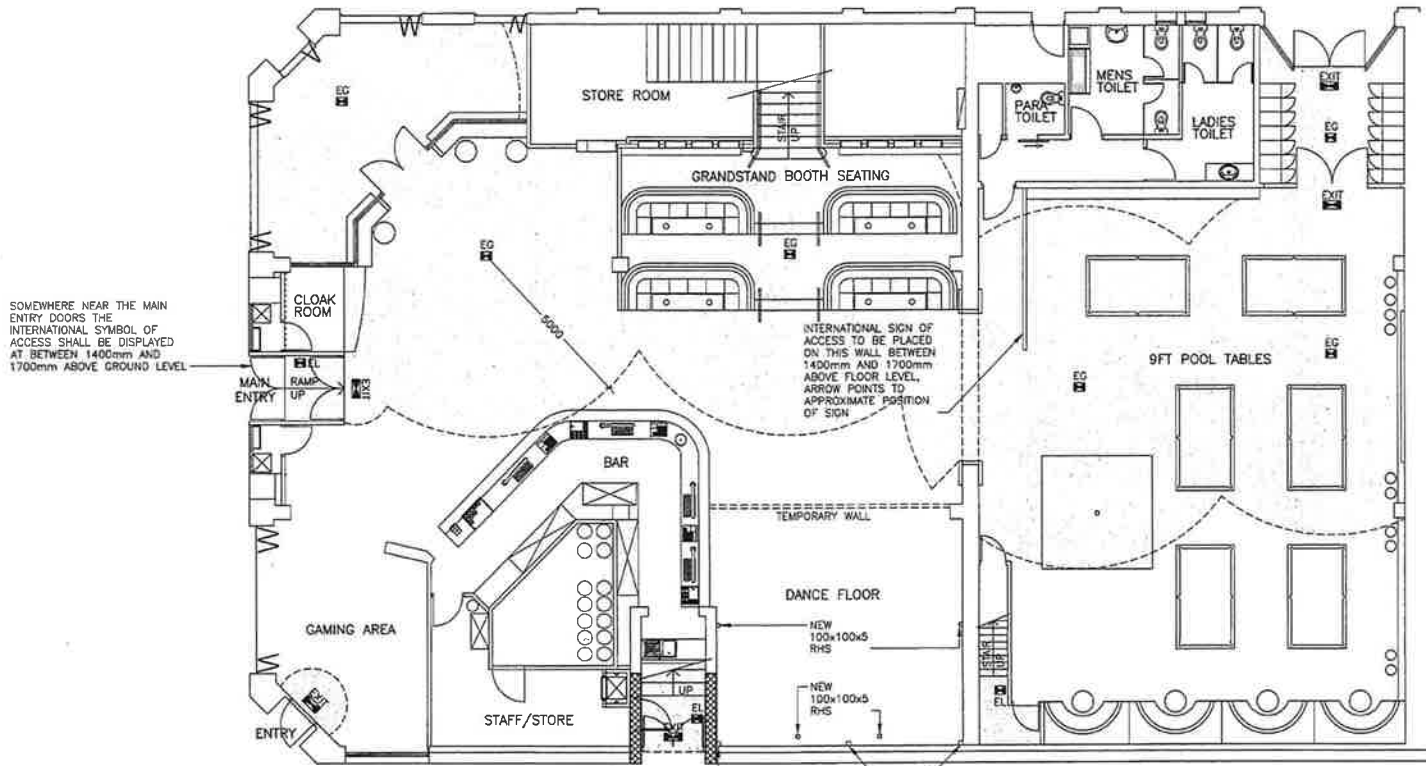
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STRUCTURAL STRENGTHING AND ALTERATIONS
ICONIC BAR, 200 MANCHESTER STREET, CHRISTCHURCH

ENG DSM W.L.	SCALE AT A2	FILE	DRAWING
DRN. B.C.	1:100	18503	01
ENG CKD WLL			
DRN CKD C.F.		CONSENT	OF 7
APP. WLL			
DATE NOV 2010			



PROPOSED GROUND FLOOR PLAN
SCALE 1:100

NEW EMERGENCY LIGHTING
ALL EXISTING EMERGENCY LIGHTING AND EXIT SIGNS TO BE RETAINED

- EG CEILING MOUNTED EMERGENCY LUMINAIRE MOUNTED TO CEILING [FAMCO, GOLDSTAR 10W QI F9915/SM/S].
- EL WALL MOUNTED EMERGENCY LUMINAIRE MOUNTED 2.0m ABOVE FLOOR LEVEL [FAMCO, LE RONDE SERIES 99540 1x40X] - 10m MAX CRS WITH A 5m FLOOD.
- EXIT WALL/CEILING MOUNTED EXIT LUMINAIRE DIRECTLY ABOVE DOOR. [FAMCO, ECO EXIT 9920/E].
- AREAS TO BE ILLUMINATED WITH EMERGENCY LIGHTING

DOOR NOTES

- REFER TO SPECIFICATION AND COSGROVES FIRE REPORT FOR DOOR SIGNS REQUIRED AND LOCATION.
- ALL DOORS ON ACCESSIBLE ROUTES NEED TO BE COLOUR CONTRASTED TO THE WALLS AROUND THEM.

- LEGEND**
- WALLS TO HAVE ALL MDF LININGS REMOVED AND HOLES SEALED WITH CONCRETE OR FIRE SEALANT TO ACHIEVE 30MIN FFR

- PUBLIC USE OF BUILDING DURING CONSTRUCTION**
- A TEMPORARY 90x45 FULL HEIGHT WALL WITH 8mm SHEETS OF MDF TO LINE THE BAR SIDE (DASHED ON GROUND FLOOR PLAN) SHALL BE CONSTRUCTED TO STOP PEOPLE WALKING UNDER THE NEW FLOOR AREA.
 - THE MAIN STAIR WELL SHALL NOT BE USED WHILE CONSTRUCTION IS TAKING PLACE THE SECONDARY STAIRWELL MAY CONTINUE TO BE USED.
 - CONSTRUCTION WILL BE TAKING PLACE DURING THE DAY WHEN THE BAR IS ALL BUT EMPTY.

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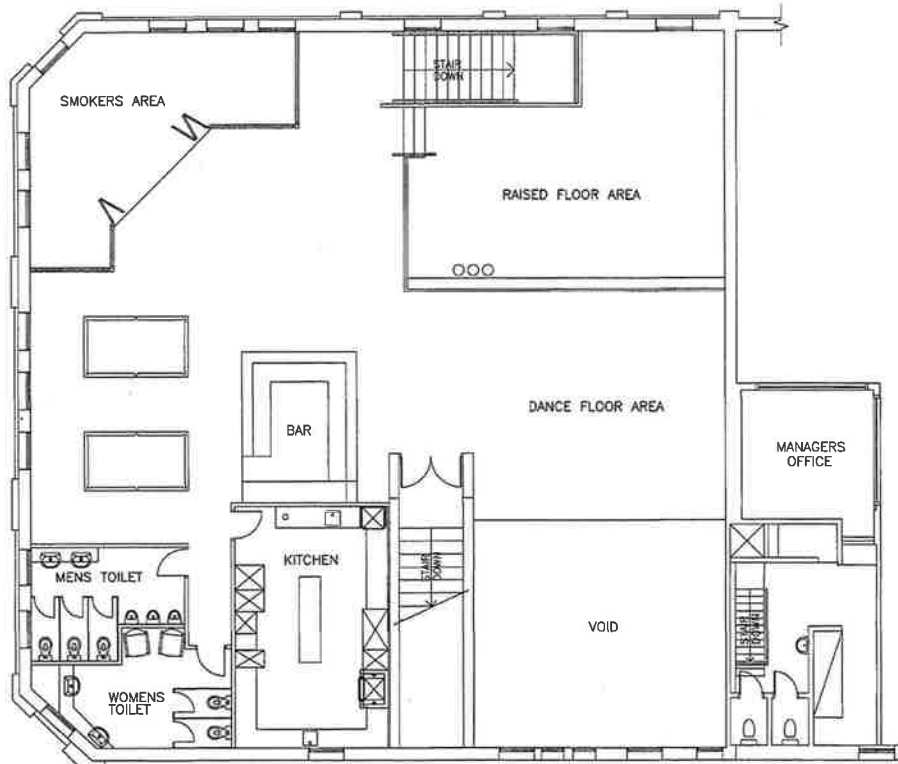
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STRUCTURAL STRENGTHING AND ALTERATIONS
ICONIC BAR, 200 MANCHESTER STREET, CHRISTCHURCH

ENG DSM W.L.	SCALE AT A2	FILE	DRAWING
DRN- B.G.	1:100	18503	02
ENG CKD: W/L			
DRN CKD: C/F			
APP: W/L			
DATE NOV 2010		CONSENT	OF 7

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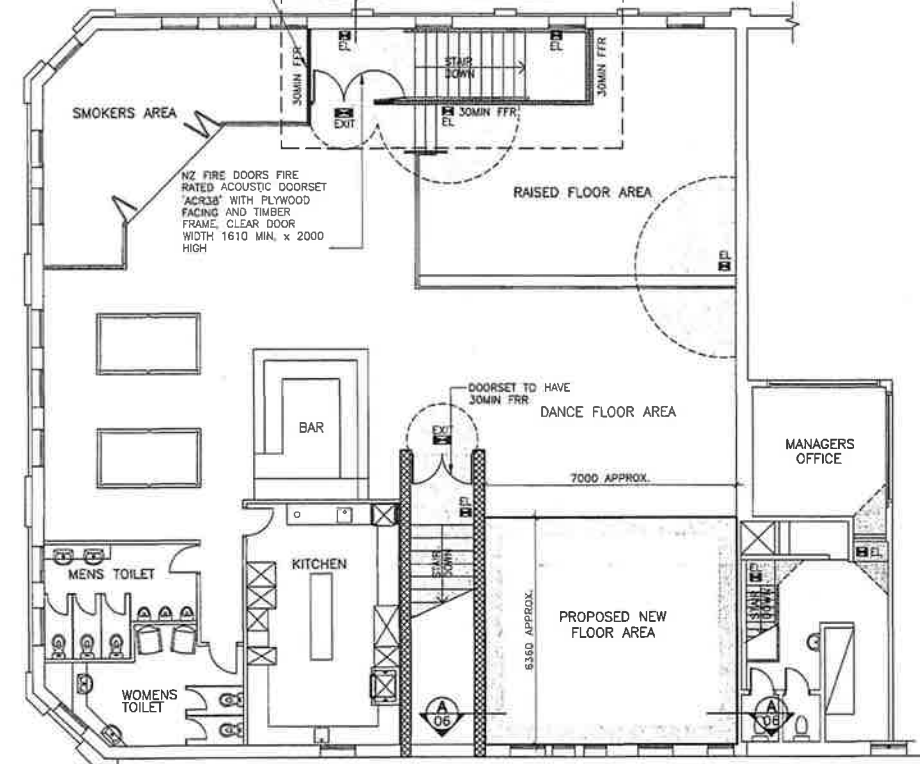
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EXISTING FIRST FLOOR PLAN
SCALE 1:100

WINDOW IN WALL TO BE REMOVED, 90x45 FRAMING TO INFILL HOLE, 6mm HARDIFLEX SHEETS ON BUILDING WRAP ON GIB SYSTEM WITH EXPRESSED JOINTS TO EXTERIOR SIDE OF WALL WITH WEATHER PROOF PAINT FINISH

STAIR WELL TO HAVE A FRR OF 30MIN AND IS A SMOKE SEPARATION BETWEEN THE GROUND AND FIRST FLOORS ALL GAPS AND JOINTS NEED TO BE SEALED WITH 'FIREPRO M707' FIRE SEALANT OR SIMILAR TO STOP SMOKE SPREAD BETWEEN LEVELS
THIS STAIR WELL IS NOT TO BE USED DURING CONSTRUCTION



PROPOSED FIRST FLOOR PLAN
SCALE 1:100

- NEW EMERGENCY LIGHTING**
ALL EXISTING EMERGENCY LIGHTING AND EXIT SIGNS TO BE RETAINED
- EG [Symbol] CEILING MOUNTED EMERGENCY LUMINAIRE MOUNTED TO CEILING [FAMCO, GOLDSTAR 10W QI F9315/SM/S].
 - EL [Symbol] WALL MOUNTED EMERGENCY LUMINAIRE MOUNTED 2.0m ABOVE FLOOR LEVEL [FAMCO, LE RONDE SERIES 99540 1x40X] - 10m MAX CRS WITH A 5m FLOOD.
 - EXIT [Symbol] WALL/CEILING MOUNTED EXIT LUMINAIRE DIRECTLY ABOVE DOOR. [FAMCO, ECO EXIT 9920/E]
- [Symbol] AREAS TO BE ILLUMINATED WITH EMERGENCY LIGHTING
- DOOR NOTES**
- REFER TO SPECIFICATION AND COSGROVES FIRE REPORT FOR DOOR SIGNS REQUIRED AND LOCATION.
 - ALL DOORS ON ACCESSIBLE ROUTES NEED TO BE COLOUR CONTRASTED TO THE WALLS AROUND THEM.

- LEGEND**
- [Symbol] - WALLS TO HAVE ALL MDF LININGS REMOVED AND HOLES SEALED WITH CONCRETE OR FIRE SEALANT TO ACHIEVE 30MIN FRR
 - [Symbol] - NEW 90x45 TIMBER FRAMED WALLS TO HAVE 30MIN FIRE RESISTANCE RATING (FRR) ACHIEVED BY USE OF GIB 'GNT134' NOISE CONTROL SYSTEM WITH PINK BATTS SILENCER 100mm FIBREGLOSS INSULATION
 - [Symbol] - EXISTING 90x45 TIMBER FRAMED WALLS TO HAVE 30MIN FIRE RESISTANCE RATING (FRR) ACHIEVED BY USE OF GIB 'GNT134' NOISE CONTROL SYSTEM WITH PINK BATTS SILENCER 100mm FIBREGLOSS INSULATION SYSTEM. CAN BE INSTALLED OVER TOP OF EXISTING GIB LINING OR EXISTING LINING REMOVED AND SYSTEM INSTALLED, AT LEAST ONE SIDE OF EXISTING LINING NEEDS TO BE REMOVED TO BE ABLE TO INSTALL INSULATION

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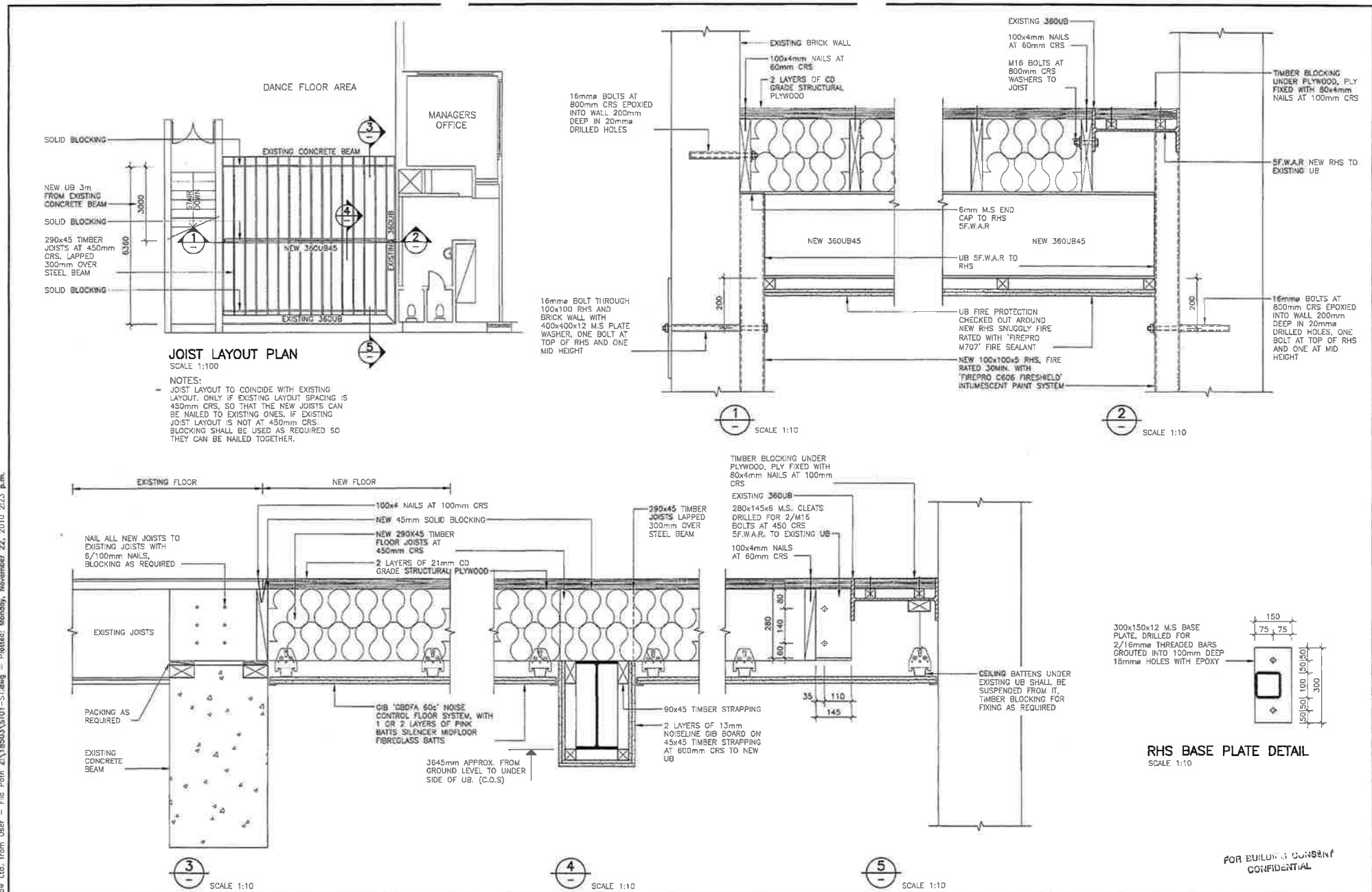
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STRUCTURAL STRENGTHING AND ALTERATIONS
ICONIC BAR, 200 MANCHESTER STREET, CHRISTCHURCH

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ENG DSN WL	SCALE AT A2	FILE	DRAWING
DRN BG.	1:100	18503	03
ENG CKD: <i>W/L</i>			
DRN CKD: <i>CF</i>			
APP: <i>W/L</i>			
DATE NOV 2010		CONSENT	OF 7



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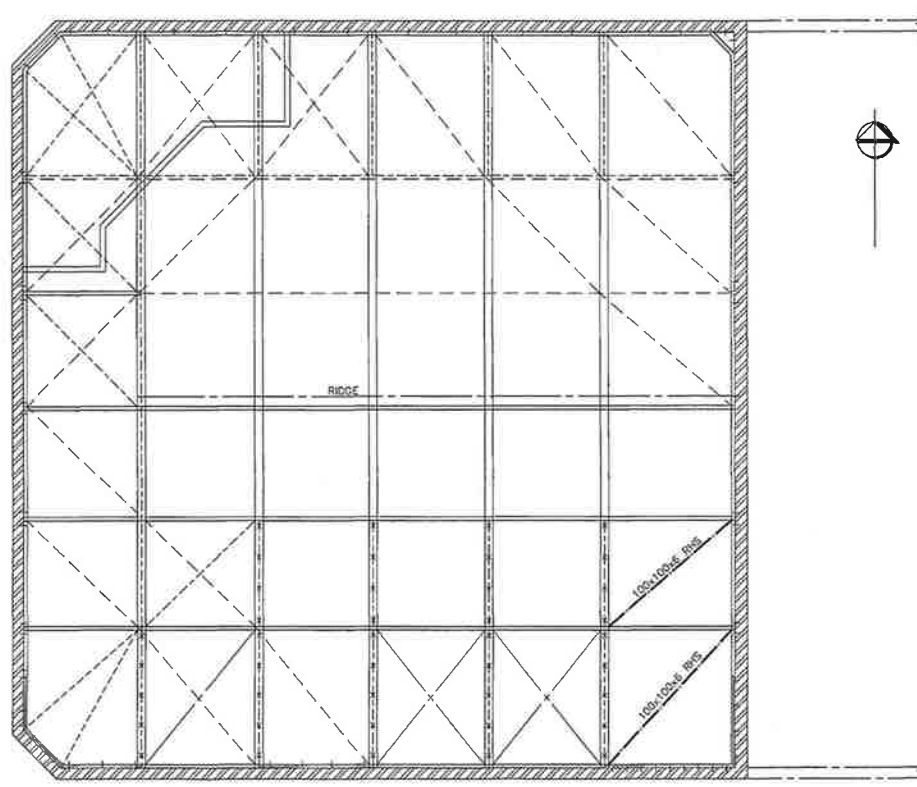
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ICONIC BAR, 200 MANCHESTER STREET, CHRISTCHURCH

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ENG OSN: W/L	SCALE AT A2	FILE	DRAWING
DRN. B.G.	1:100	18503	04
ENG CRD. W/L	1:10		
DRN CRD. C/F			
APP. W/L		CONSENT	OF 7
DATE NOV 2010			

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ROOF STRUCTURE PLAN
AT PLANE OF BOTTOM CHORD
SCALE 1:100

NOTES:

1. ALL STRUCTURAL STEELWORK SHALL BE SHIP-300 PLUS OR AS 3679,1-250 AS APPLICABLE.
2. ALL WELDING SHALL COMPLY WITH A.S./N.Z.S 1554.1:2004, BUTT WELDS TO BE SP WELDS.
3. THE LINE OF STEEL MEMBERS SHALL MEET AT A POINT AND BE JOINED TOGETHER WITH A 5 F.W.A.R OR A SINGLE V BUTT WELD.

EXISTING 20mmØ BOLT TO WALL



X EXISTING 20mmØ BOLT TO TRUSS

• EXISTING 20mmØ BOLT TO TRUSS

KEY:

- OR --- RHS EXISTING 100x100x6 RHS
- EXISTING 100x100x6 ANGLE
- - - - - EXISTING 75x75x5 RHS
- EXISTING 100x100x6 RHS
- ===== EXISTING 100x100x6 EDGE ANGLE
- /// EXISTING BRICK WALL
- * - - - EXISTING VERTICAL 20mmØ BOLTS IN NEW 100x100x6 ANGLE
- /// EXISTING GROUTED IN BOLT, ANGLE TO BRICK WALL
- NEW 100x100x6 RHS

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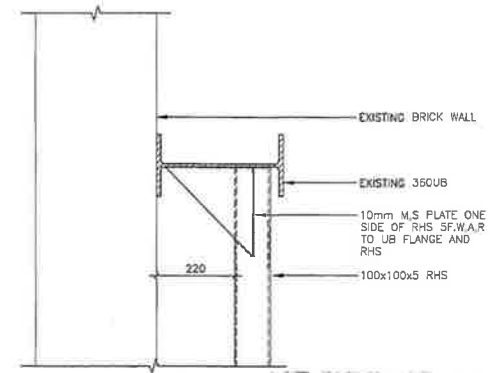
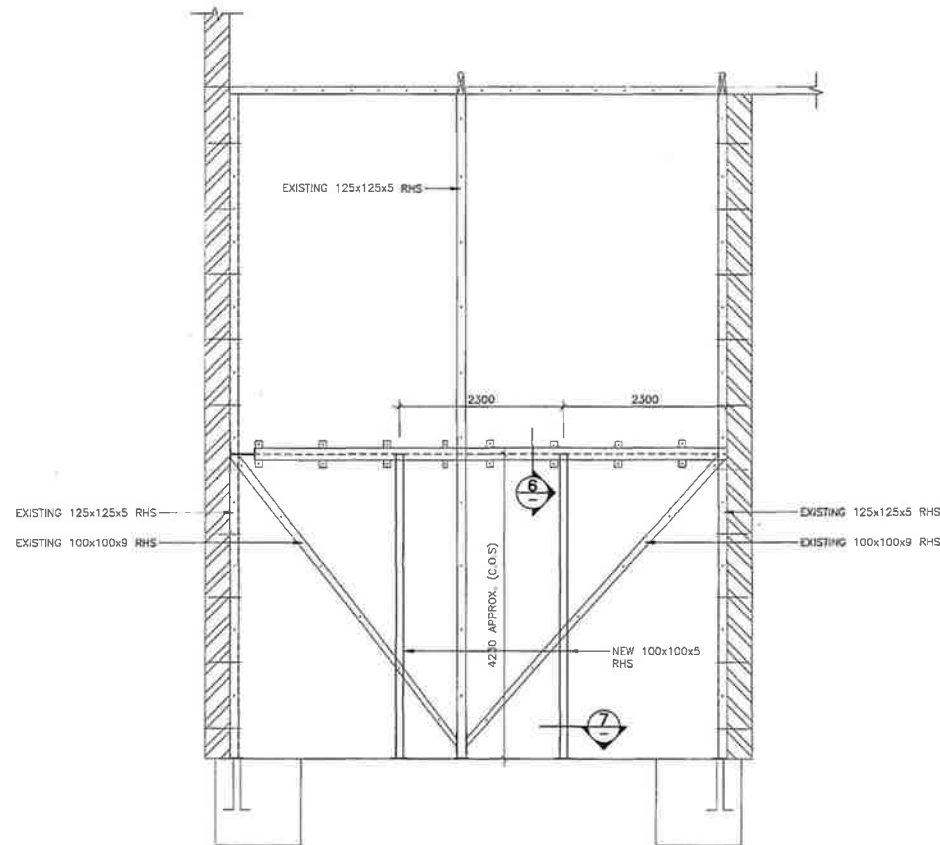


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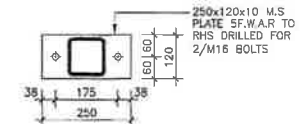
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STRUCTURAL STRENGTHING AND ALTERATIONS
ICONIC BAR, 200 MANCHESTER STREET, CHRISTCHURCH

ENG DSN	W.L.	SCALE AT A2	FILE	DRAWING
DRN	B.G.	1:100	18503	05
ENG CKD	W/L			
DRN CKD	W/L			
APP.	W/L			
DATE	NOV 2010		CONSENT	OF 7



6
SCALE 1:10



7
SCALE 1:10

A
03 STEEL WORK SECTION
SCALE 1:50

NOTES
ALL NEW STEEL MEMBERS SHALL HAVE 30MIN. FRR ACHIEVED BY APPLYING 'FIRESHIELD' INTUMESCENT PAINT SYSTEM (EXCEPT NEW 380UB45 WHICH HAS A GIB FIRE RATED SYSTEM)

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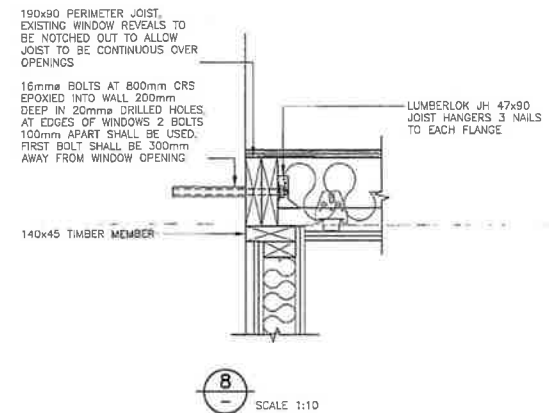
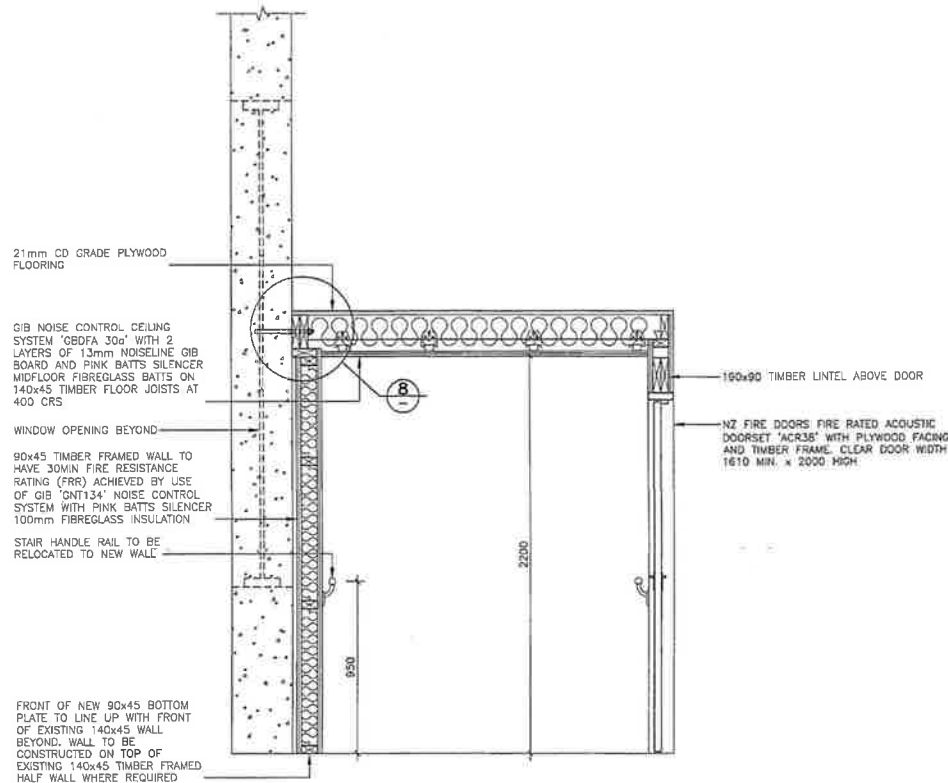


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STRUCTURAL STRENGTHING AND ALTERATIONS
ICONIC BAR, 200 MANCHESTER STREET, CHRISTCHURCH

ENG DSN	W.L.	SCALE AT A2	FILE	DRAWING
DRN	B.C.	1:50		
ENG CKD	WJX	1:10	18503	06
DRN CKD	C.F.			
APP	WJX			
DATE	NOV 2010		CONSENT	OF 7



B
03 STAIR WELL SECTION
SCALE 1:20

NOTES

- PROVIDE A SIGN MOUNTED ON THE WALL AT EYE HEIGHT ON TOP OF THE PLATFORM WITH THE FOLLOWING WORDS 'LOAD ON THIS PLATFORM SHALL NOT EXCEED 150KG PER SQUARE METER CCC BY LAW' THIS SIGN SHALL BE AT LEAST 600x300 AND BE MOUNTED AT LEAST 1m ABOVE THE FLOOR. LETTERS SHOULD BE CONTRASTING COLOURS.
- EXISTING WINDOW REVEALS BELOW NEW PLATFORM HEIGHT ARE TO BE REMOVED TO ALLOW PERIMETER JOIST TO BE CONTINUOUS OVER OPENING AND NEW WALL TO BE INSTALLED

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STRUCTURAL STRENGTHING AND ALTERATIONS
 ICONIC BAR, 200 MANCHESTER STREET, CHRISTCHURCH

ENG DSN	W.L.	SCALE AT A2	FILE	DRAWING
DRN	B.G.	1:20		
ENG CKD	WJX	1:10	18503	07
DRN CKD	C.F.			
APP.	WJX		CONSENT	OF 7
DATE	NOV 2010			

CSL# 91224482 NO MISION #?

Christchurch Eq RAPID Assessment Form - LEVEL 2

Inspector Initials
Territorial Authority

DB
Christchurch City

Date
Time

26/12/10
4:00pm

Final Posting
(e.g. UNSAFE)

Building Name

Short Name

Address

GPS Co-ordinates

Contact Name

Contact Phone

Storeys at and above
ground level

Total gross floor area
(m²)

No of residential Units

Photo Taken

Yes

No

Type of Construction

- Timber frame
- Steel frame
- Tilt-up concrete
- Concrete frame
- RC frame with masonry infill

- Concrete shear wall
- Unreinforced masonry
- Reinforced masonry
- Confined masonry
- Other:

Primary Occupancy

- Dwelling
- Other residential
- Public assembly
- School
- Religious
- Commercial/ Offices
- Industrial
- Government
- Heritage Listed
- Other

Investigate the building for the conditions listed on page 1 and 2, and check the appropriate column. A sketch may be added on page 3

Overall Hazards / Damage

Minor/None

Moderate

Severe

Comments

Collapse, partial collapse, off foundation

Building or storey leaning

Wall or other structural damage

E gable wall badly damaged

Overhead falling hazard

Ground movement, settlement, slips

Neighbouring building hazard

Electrical, gas, sewerage, water, hazmats

Record any existing placard on this building:

Existing
Placard Type
(e.g. UNSAFE)

Choose a new posting based on the new evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance. Transfer the chosen posting to the top of this page.

INSPECTED

GREEN

G1

G2

RESTRICTED USE

YELLOW

Y1

Y2

UNSAFE

RED

R1

R2

R3

Record any restriction on use or entry:

Further Action Recommended:

Tick the boxes below only if further actions are recommended

Barricades are needed (state location):

Detailed engineering evaluation recommended

Structural

Geotechnical

Other:

Other recommendations:

Estimated Overall Building Damage (Exclude Contents)

None

0-1 %

31-60 %

2-10 %

61-99 %

11-30 %

100 %

Inspection ID: _____ (Office Use Only)

Sign here on completion

Date & Time
ID

[Signature]
26/12/10
4:00pm

Structural Hazards/ Damage	Minor/None	Moderate	Severe	Comments
Foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roofs, floors (vertical load)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Columns, pilasters, corbels <i>wall</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>W wall damage</i>
Diaphragms, horizontal bracing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>esp. apex, loose bricks</i>
Pre-cast connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Could fall in or outwards.</i>
Beam	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Non-structural Hazards / Damage				
Parapets, ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Cladding, glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ceilings, light fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Interior walls, partitions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Stairs/ Exits	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities (eg. gas, electricity, water)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Geotechnical Hazards / Damage				
Slope failure, debris	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ground movement, fissures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Soil bulging, liquefaction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

General Comment

Usability Category

Damage Intensity	Posting	Usability Category	Remarks
Light damage	Inspected (Green)	G1. Occupiable, no immediate further investigation required	
<i>Low risk</i>		G2. Occupiable, repairs required	
Medium damage	Restricted Use (Yellow)	Y1. Short term entry	
<i>Medium risk</i>		Y2. No entry to parts until repaired or demolished	
Heavy damage	Unsafe (Red)	R1. Significant damage: repairs, strengthening possible	<i>W wall damage</i>
<i>High risk</i>		R2. Severe damage: demolition likely	
		R3. At risk from adjacent premises or from ground failure	

USAR Damaged Building Reconnaissance Report

Name ICONIC BAR Time 1015 Date 27/12

Building Description	Address <u>CNR MANCHESTER / GLOUCESTER</u>	Construction (tick more than 1 if required)	Use (tick more than 1 if required)
	Building Name <u>ICONIC BAR</u>	<input type="checkbox"/> Timber frame <input type="checkbox"/> Steel frame <input type="checkbox"/> Concrete frame <input type="checkbox"/> RC frame / masonry infill <input type="checkbox"/> Concrete shear wall <input checked="" type="checkbox"/> Unreinforced masonry <input type="checkbox"/> Confined masonry <input type="checkbox"/> Other _____	<input type="checkbox"/> Dwelling <input type="checkbox"/> Multi Residential (No. _____) <input type="checkbox"/> Public assembly <input type="checkbox"/> School <input type="checkbox"/> Religious <input checked="" type="checkbox"/> Commercial retail <input type="checkbox"/> Commercial offices <input type="checkbox"/> Industrial <input type="checkbox"/> Government <input type="checkbox"/> Heritage <input type="checkbox"/> Other _____
	GPS Coordinates (if available) _____		
	No. of stories at and above ground _____		
	No. of stories below ground _____		
	Approx year of construction _____		

Damage / Hazards	Damage / Hazards	Estimated Overall Building Damage																																																											
	<table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 60%;"></th> <th style="width: 10%; text-align: center;">Minor</th> <th style="width: 10%; text-align: center;">Moderate</th> <th style="width: 10%; text-align: center;">Severe</th> <th style="width: 10%;"></th> <th style="width: 10%;"></th> </tr> </thead> <tbody> <tr> <td>Collapse, partial collapse</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;">0-1%</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>Building or storey leaning</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;">2-10%</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>Parapet damage</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;">11-30%</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>Overhead falling hazard</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;">31-60%</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>Ground movement, settlement</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;">61-99%</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>Endangering neighbouring building</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;">100%</td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td>Endangered by neighbouring building</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>Glass Hazard</td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> <td></td> <td></td> </tr> <tr> <td>Other / general damage description comments...</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		Minor	Moderate	Severe			Collapse, partial collapse	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	0-1%	<input type="checkbox"/>	Building or storey leaning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2-10%	<input type="checkbox"/>	Parapet damage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11-30%	<input type="checkbox"/>	Overhead falling hazard	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	31-60%	<input type="checkbox"/>	Ground movement, settlement	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	61-99%	<input type="checkbox"/>	Endangering neighbouring building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	100%	<input type="checkbox"/>	Endangered by neighbouring building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			Glass Hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			Other / general damage description comments...					
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Actions	Cordon / Public Safety Temporary hazard tape applied Y <input checked="" type="checkbox"/> N <input type="checkbox"/> Additional cordon / fencing required Y <input type="checkbox"/> *(Pink / Red) N <input type="checkbox"/> Urgent <input type="checkbox"/> Non-urgent <input type="checkbox"/> Imminent danger to public reported to USAR command for action Y <input type="checkbox"/> N <input type="checkbox"/> Comments... *(colours noted are to be marked on maps)	Engineering assessment required Y <input checked="" type="checkbox"/> *(Blue) N <input type="checkbox"/> Call me to discuss <input type="checkbox"/> Urgent <input type="checkbox"/> Non-urgent <input type="checkbox"/> My contact phone _____ *(Lime Green)
----------------	---	--

(CCC Office Use) - Entered into CCC Database Cordon requested Rapid eng assessment requested

CSK # 91224482 IN TWICE ✓

MAY HAVE BEEN DONE ✓

Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials
Territorial Authority

G Mackle
Christchurch City

Date of Inspection
Time

3:15 pm
27/12/10

Exterior Only
Exterior and Interior

Building Name

ICONIC BAR

Short Name

Type of Construction

Address

CNR MANCHESTER/GLOUCESTER

Timber frame

Concrete shear wall

192

Steel frame

Unreinforced masonry

GPS Co-ordinates

S° E°

Tilt-up concrete

Reinforced masonry

Contact Name

Concrete frame

Confined masonry

Contact Phone

RC frame with masonry infill

Other:

Storeys at and above ground level

2

Below ground level

Primary Occupancy

Dwelling

Commercial/ Offices

Total gross floor area (m²)

Year built

1930-40

Other residential

Industrial

No of residential Units

Public assembly

Government

Photo Taken

Yes

No

School

Heritage Listed

Religious

Other

Investigate the building for the conditions listed below:

Overall Hazards / Damage

Minor/None

Moderate

Severe

Comments

Collapse, partial collapse, off foundation

Building or storey leaning

Wall or other structural damage

Overhead falling hazard

Ground movement, settlement, slips

Neighbouring building hazard

Other

Stress fractures in plastered brick walls - upper areas mainly above where roof trusses connect. - parapets

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED
GREEN

RESTRICTED USE
YELLOW

UNSAFE
RED

Record any restriction on use or entry:

Further Action Recommended:

Tick the boxes below only if further actions are recommended

Barricades are needed (state location):

Barricades in place now.

Level 2 or detailed engineering evaluation recommended

Structural

Geotechnical

Other:

Other recommendations:

Estimated Overall Building Damage (Exclude Contents)

None

0-1 %

31-60 %

2-10 %

61-99 %

11-30 %

100 %

Sign here on completion

Date & Time
ID

3:20 pm

Inspection ID _____ (Office Use Only)

27 December 2010

Symphony Projects Limited
PO Box 5560
Wellesley street
Auckland 1141

Dear Sir/Madam

**Notices under the Building Act 2004 not to use or occupy your building and to repair your building
204 Manchester Street**

The earthquake that struck Christchurch and the subsequent aftershocks have damaged many buildings in the City, including your property. We recognise that this is an extremely difficult time for you and we want to work with you to create a safe city.

Christchurch City Council staff are working hard to assess the buildings throughout the city to determine whether or not they are dangerous buildings.

Your building has been identified as one that was damaged by the earthquake and is considered dangerous. You need to be aware of the special government legislation that relates to your property.

Special legislation for Council to use for dangerous buildings

To assist the Council with its efforts following the earthquake special legislation has been enacted, which has enhanced Council powers under the Building Act 2004 to deal with dangerous buildings.

The primary aim of those powers is to keep people safe.

Steps the Council can take to achieve this aim include issuing notices to prevent people from using or occupying a building or to allow restricted entry to a building. A notice can also require that repairs must be carried out on a dangerous building within a certain time. This is extremely important if a building is to be made safe, and to minimise the impact on other businesses close to the affected property.

The Dangerous Building Notice issued for your building

The Council considers that your building is a dangerous building as defined in the Building Act, and that it is necessary for notices to be issued to:

- Prevent use or occupation of your building (a section 124(1)(b) notice)
- Require you to reduce and remedy the danger to your building (a section 124(1)(c) notice)

These notices are enclosed and have also been placed on your building to warn of the danger, as required by the Building Act. Please do not remove these notices as it is important the public and building users know about the danger to help safeguard them.

The Council's Building Recovery Office can help you

We recommend that you contact the Christchurch City Council Building Recovery Office (details below) to discuss your building assessment or if the particulars on the notices need clarification.

We also recommend that you talk to the Building Recovery Office before taking any steps to remedy the danger, and to discuss any building consents or resource consents that may be required for the work.

We realise the timeframes specified in the section 124(1)(c) notice may not be long enough to carry out the repair work, and we are keen to work with you to identify if a longer period is required.

If you have not already done so, we recommend that you contact your insurers. You should also seek structural engineering advice from a qualified structural engineer on how to remove the danger.

We appreciate your understanding in this matter.

CONTACT:

CCC Building Recovery Office
Ground floor Civic Offices
53 Hereford Street
Tel: 03 941 8999
Email: Buildingrecoveryoffice@ccc.govt.nz

Yours faithfully



James Clark
Team Leader Enforcement
Inspections and Enforcement Unit

Encl



CHRISTCHURCH CITY COUNCIL NOTICE

**UNDER SECTION 124(1)(c), BUILDING ACT 2004
(as modified by the Canterbury Earthquake
(Building Act) Order 2010)**

TO:

Symphony Projects Limited
PO Box 5560
Wellesley Street
Auckland 1141

THE BUILDING

Street Address: 204 Manchester Street

Legal Description: Lot 1, Deposited Plan 408636

PARTICULARS

In accordance with s121(1)(a) or (c) of the Building Act 2004, this building is dangerous as a result of an earthquake which occurred at the property on Saturday 4th September 2010, or as a result of aftershocks following that earthquake.

1. The building has been damaged, and there are structural defects to the building.
2. Councils records show that the east gable wall has been badly damaged.

TO REDUCE OR REMOVE THE DANGER YOU MUST:

- A. Comply with any notice attached to the building prohibiting the use or occupation of the building, or restricting entry to the building.
- B. Keep persons away from the danger/risk in the building.
- C. Carry out work on the building to remove the danger .
- D. **You must obtain a building consent** to carry out any demolition, repairs or other work to remove the danger. Please contact the **Christchurch City Council Building Recovery Office by telephone on 941-8999, or by email at buildingrecoveryoffice@ccc.govt.nz, or in person at the Ground Floor, Civic Offices, 53 Hereford Street**, before making your building consent application.
- E. If urgent building work is necessary to save or protect life or health or prevent serious damage to property then you may be able to carry out that work without a building consent (see s41(1)(c) of the Building Act 2004). If, in reliance on s41(1)(c), building work is carried out without a building consent having been obtained, the owner must, as soon as practicable after completion of the building work, apply for a certificate of acceptance under s96 of the Building Act 2004.
- F. **If the building is a listed heritage building then council approval must be obtained for the work, whether or not a building consent is required.**

Work required by this notice must be carried out by 31 JANUARY 2011. If you believe you are unable to carry out the work by that date please contact the Council's Building Recovery Office who will work with you on a solution that may include agreeing on a new timeframe.

If the work is NOT carried out before 31 January 2011, or such other date agreed by the Council in writing, the Council may carry out the work required and you will be liable for the costs of the work unless you apply within 5 days of the work being carried out to a District Court for relief from this obligation.

Signed for & on behalf of the Christchurch City Council:

Name: James Clark

Position: Team Leader Enforcement

Date of issue: 27 December 2010





E-mail Message

From: [Chris Gordon \[SMTP:chrisg@lewisandbarrow.co.nz\]](mailto:Chris.Gordon@lewisandbarrow.co.nz)
To: [CDRescue \[EX:/O=NZGOVT/OU=CHRISTCHURCH CITY COUNCIL/CN=RECIPIENTS/CN=CDRESCUEHQ\], Billante, Vincie \[EX:/O=NZGOVT/OU=CHRISTCHURCH CITY COUNCIL/CN=RECIPIENTS/CN=VINCIE.BILLANTE\]](mailto:CDRescue [EX:/O=NZGOVT/OU=CHRISTCHURCH CITY COUNCIL/CN=RECIPIENTS/CN=CDRESCUEHQ], Billante, Vincie [EX:/O=NZGOVT/OU=CHRISTCHURCH CITY COUNCIL/CN=RECIPIENTS/CN=VINCIE.BILLANTE])

Cc:
Sent: 30/12/2010 at 4:04 pm
Received: 30/12/2010 at 4:04 pm
Subject: 200 Manchester St, Iconic Bar

Attachments: cg-scan reports 30-12-10.pdf

To whom it may concern

The above property was red stickered by CCC after the 26-12-10 aftershocks due to damage to the east gable wall parapet. Further investigations revealed damage to the gable end wall and remedial works have since been undertaken to provide adequate support to the damaged areas. Attached are copies of my reports and the CCC Engineers form.

Can you please remove the red sticker from the site as all damage has been made safe.

A Building Consent Application has been made for strengthening work to the building. An amendment to the Building Consent will be made in January to include the removal of the damaged area of East gable end wall and reinstatement with a suitable structure.

I am not CPEng however I do have a BE Civil, NZCE am GIPENZ and have 16 years' experience in design and supervision with Lewis and Barrow Limited. I have significant experience with seismic design.

Please contact me if you have any queries. 0274 572 990

Regards

Chris

Chris Gordon
Senior Engineer

LEWIS & BARROW LTD
Consulting Civil and Structural Engineers
DDI: 03 372 4338
Ph: 03 366 4320
Mob 0274572990
Fax: 03 365 7069
www.lewisandbarrow.co.nz

Statement by ~~Chartered~~ Professional Engineer in respect of the building at:

(Building Address) ZOO MANCHESTER STREET

(Business Name if applicable) ICONIC BAR

I, CHRISTOPHER GORDON (name), am a ~~Chartered~~ Professional Engineer (No.....) with relevant experience in the structural design of buildings for earthquake actions.

I have been engaged to provide advice to the owner on the interim securing / strengthening of the above building following the earthquake of 4 September 2010.

I am aware of all the measures taken to secure or strengthen the building (the work) which were carried out by (Name and contact address of contractor).

I have inspected the work on completion and am satisfied on reasonable grounds that:

a. *Structural integrity and performance.* Where the structural integrity and/or structural performance of the building (or part of the building) was materially affected by the Darfield earthquake or any aftershocks to date, interim securing measures have been taken to restore the structural integrity and performance of the building to at least the condition that existed prior to the earthquake of 4 September 2010.

b. *Potentially dangerous features.* Potentially dangerous features on the building such as unreinforced masonry chimneys, parapets and walls have been removed or secured so that their integrity and level of structural performance is consistent with that generally achieved in other parts of the building, and so reduces the danger to people's safety and of damage to other property.

~~c. Threat from nearby buildings:~~ (Delete one if not applicable)

N.A. Protective measures installed on the subject building are sufficient in nature and extent to protect its occupants in the event of collapse of potentially dangerous features on adjacent or nearby buildings.

I have identified all potentially dangerous features such as unreinforced masonry chimneys, parapets and walls on all adjacent or nearby buildings that have potentially dangerous features which threaten the subject building or its occupants.

Buildings which I have identified in the above category are:

- i.
- ii.
- iii.

I have advised the owner of the subject building that approval for resumption of occupancy and use will be subject to Council approval to remove the red or yellow safety notices from the buildings listed above.

Signed Flonobn LEWIS & BARROW LTD. ~~Chartered~~ Professional Engineer

Date 30/12/10

SITE REPORT


LEWIS & BARROW LTD

Consulting Civil and Structural Engineers:

 Warren R. Lewis
 Stephen W. Barrow

 BE (Hons) MIPENZ CP Eng.
 BE (Hons) MIPENZ

 183 Hereford St,
 Christchurch, New Zealand
 P.O. Box 13-282
 Armagh, Christchurch 8141
 Phone 366-4320
 Fax 365-7069

 200 Manchester St.
 www.lewisandbarrow.co.nz

Job No.

Date

28/12/10

 Report
 No.

1

Progress

Visual bldg inspection post aftershocks 26 & 27 Dec 2010.
 Bldg has a red sticker from CCC indicating parapet damage to east wall.
 Inspection in roof space shows brick wall from ceiling to roof level to the east wall has bowed out by 50 to 100mm. The parapet above roof level has collapsed at the apex.

Instructions and Comments

- ① Remove all collapsed bricks at the apex parapet area & flash to make water tight.
- ② Provide 20mm HS plywood to the outside face of the east wall from truss bottom chord level to top of parapet. Fix with existing bolts & washers at roof level. Provide M16 bolts at 400 ca into truss bottom chord with 100x100 washers to brick & timber. Solid block between brick & truss to prevent clamping. All bolts to be hot dip galv.
- ③ Provide 150x45 joists at 450 ca between truss bottom chords to Z east end trusses. Line over joists with 12mm plywood to prevent any falling bricks coming through suspended ceiling.

Above work is temporary support of damaged wall to make building safe for normal use. Brick wall above truss bottom chord level will need to be removed & rebuilt with suitable structure for long term support.

(CHR) WARREN

 Contact Interpretation Not Involving Any Variation
 Variation For Immediate Action (Price Must Be Submitted Within 28 Days)
 Variation Price Request (Price Must Be Approved Before Work Proceeds)

 A
 B
 C

Copies to: Site - Design

SITE REPORT


LEWIS & BARROW LTD

Consulting Civil and Structural Engineers:

 Warren R. Lewis
 Stephen W. Barrow

 BE (Hons) MIPENZ CP Eng.
 BE (Hons) MIPENZ

 183 Hereford St,
 Christchurch, New Zealand
 P.O. Box 13-282
 Armagh, Christchurch 8141
 Phone 366-4320
 Fax 365-7069

 100 Ric
 200 Manchester St.
 www.lewisandbarrow.co.nz

Job No.

Date

29/12/10

 Report
 No.

Z

Progress

Framing & plywood was in place between end trusses to
 affected east wall. All well constructed.
 Access now available onto adjacent single story roof &
 scaffolding being placed to give access to damaged face.

Instructions and Comments

- ① Provide 100x75x8mm MS L verticals to outside face
 of wall on top of plywood fixed to existing bolts to
 rafters at top. At bottom fix to existing bolts to south
 side of wall & provide new M16 threaded rod to
 north side of building fixed into truss bottom chord.
 100x100x8mm MS IR washers to brick & timber faces.
 All steelwork to be prime & top coated.
- ② Provide 200x50 timber placed flat against inside
 face of brick wall to align with MS L on outside.
 Provide timber packers between 200x50 & face of
 truss top & bottom chords. Shew nail in place.
 Where new bolts are placed from MS L through to
 truss bottom chord the bolt shall pass through the
 200x50 & packers.


 CHRIS GORDON

Contact Interpretation Not Involving Any Variation
 Variation For Immediate Action (Price Must Be Submitted Within 28 Days)
 Variation Price Request (Price Must Be Approved Before Work Proceeds)

A
 B
 C

Copies to:

Site

Statement by Chartered Professional Engineer in respect of the building at:

(Building Address) 200 Manchester Street, Christchurch

(Business Name) Iconic bar

I, Simon Gifford, am a Chartered Professional Engineer (No 217130,) with relevant experience in the structural design of buildings for earthquake actions.

I have been engaged to provide advice to the owner on the interim securing / strengthening of the above building following the earthquake of 4 September 2010.

I am aware of all the measures taken to secure or strengthen the building (the work) which were carried out by (*Name and contact address of contractor*).

Nathan Cook Builders.

Personnel under my control have inspected the work on completion and I am satisfied on reasonable grounds that:

- a. *Structural integrity and performance.* Where the structural integrity and/or structural performance of the building (or part of the building) was materially affected by the Darfield earthquake or any aftershocks to date, interim securing measures have been taken to restore the structural integrity and performance of the building to at least the condition that existed prior to the earthquake of 4 September 2010.
- b. *Potentially dangerous features.* Potentially dangerous features on the building such as unreinforced masonry chimneys, parapets and walls have been removed or secured so that their integrity and level of structural performance is consistent with that generally achieved in other parts of the building, and so reduces the danger to people's safety and of damage to other property.
- c. *Threat from nearby buildings.*
Personnel under my control have identified *all* potentially dangerous features such as unreinforced masonry chimneys, parapets and walls *on all adjacent or nearby buildings* that have potentially dangerous features which threaten the subject building or its occupants.

Buildings identified in the above category are:

- i. 198 Manchester St

The owner of the subject building has been advised that approval for resumption of occupancy and use will be subject to Council approval to remove the red or yellow safety notices from the buildings listed above.

Signed*SGifford*..... Chartered Professional Engineer

Date .31 December 2010

 <p>CHRISTCHURCH CITY COUNCIL - YOUR PEOPLE - YOUR CITY</p>	<p>CHRISTCHURCH CITY COUNCIL BOXING DAY EARTHQUAKE - FILE CLOSURE (GREEN)</p> <p style="font-size: 2em; margin-left: 100px;">207</p>
---	--

Address: 200 Manchester - Iconic

CSR Number:

Building Evaluations Transition Team – Actions	Completed	Date
Level 1 Assessment Sheet completed (attached)	<input checked="" type="radio"/> Yes / No	26/12/2010
Level 2 Assessment Sheet completed (attached)	Yes / No	
1. Structural report received , reviewed & accepted Name; John Mitchell CPE-yefopus. (print)	<input checked="" type="radio"/> Yes / No	
Comments: (Use reverse or add attachment) Instruct owner to remove 12x notice and red placard, ^{done} Also, remove cards. ^{done}		
1.1 Property owner / agent advised via Email / Writing – copy attached to file and saved Trim		
2. Final Structural report received , reviewed & accepted Name; (print)	Yes / No <div style="position: absolute; transform: rotate(-45deg); opacity: 0.5; font-weight: bold; font-size: 1.5em;">PROCESSED</div>	
Comments: (Use reverse or add attachment)		
2.2 Property owner / agent advised via Email / Writing – copy attached to file and saved Trim		
Final Action:		
Barricades removed	<input checked="" type="radio"/> Yes / No	
Notices removed	<input checked="" type="radio"/> Yes / No	
Data Entry - Updated	Completed	Date
CSR Records Updated	<input checked="" type="radio"/> Yes / No	3/1/11
XL Spreadsheet Updated	Yes / No	
Completed By : (Print Name)		



ENGINEERS RE INSPECTION OF DAMAGED BUILDINGS
Resulting from Christchurch EARTH QUAKES

Address 200 192 Manchester Street
Inspection Engineers Name Mark Ryburn
Mobile Phone Number _____
Date 09 / 02 / 2011

Reville
 Please view & make a decision.

Structural Hazards / Damage	Minor / None	Mod	Severe
Foundations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ground Movement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Roofs, floors (vertical load)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Columns, plasters, corbels/walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Diaphragms, horizontal bracing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pre-cast connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Beam	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Neighbouring Property Hazards	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Loss of bricks on rear wall - stabilised for the moment with plywood.
 N/A
 N/A

Non- structural Hazards / Damage

Parapets, ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cladding, glazing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings, light fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior walls, partitions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stairs / Exits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Utilities (eg. gas, electricity, water)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

N/A

General Comments

New owner imminent - Eng. has apparently reviewed the requirements for stabilising the rear wall in which 4 bricks fell from the apex. Recommended contacting the Eng. for a confirmation of the works as lateral load capacity may not exist. Also get comments on the cracking (likely just in the paint)

* Contact Eng.

Usability Category

Usability Intensity	Posting	Usability Category	Comment
Light damage Low risk	Inspected (Green)	Ga Occupiable, no immediate further	<input type="checkbox"/>
Demolished		Gb Occupiable, repairs required	<input type="checkbox"/>
		Gc Demolished	<input type="checkbox"/>
Medium damage Medium risk	Restricted Use (White)	Ya Short term entry	<input type="checkbox"/>
		Yb No entry to parts until repaired, risk from adjacent premises or ground failure removed	<input type="checkbox"/>
Heavy damage High Risk	Unsafe (Red)	Ra Significant damage, "do not enter"	<input type="checkbox"/>
		Rb At risk from adjacent premises or from ground failure "do not enter"	<input type="checkbox"/>

Protection fencing required (Yes) No
 Details to rear corner parapet on Clavister st

DETAILS OF BUILDING DAMAGE
Resulting from Christchurch EARTH QUAKES

192 Manchester Street

1 Type of Damage

Tick Boxes

Note

Choose one of the following (structural damage takes priority over other types of damage):

- | | | |
|-----|---|--------------------------|
| 1.1 | The building has been damaged, and there are structural defects to the building:
<i>or</i> | <input type="checkbox"/> |
| 1.2 | Damage to parapets, and / or chimneys, and / or ornamental features that may pose a risk to the public and / or adjacent property
<i>or</i> | <input type="checkbox"/> |
| 1.3 | The building has been damaged resulting in potential ingress of water (insanitary building, refer Environmental Health). | <input type="checkbox"/> |
| 1.4 | There is a risk that other property could collapse resulting in injury or death to any persons in the building or to persons on other properties. | <input type="checkbox"/> |

2 Characteristics of Damage

- | | | |
|-----|--|--------------------------|
| 2.1 | Significant damage to structural walls, party walls, fire walls and / for structural frame (cracking, bowing, failed connections, spalling). | <input type="checkbox"/> |
| 2.2 | Significant damage to foundations (cracking, significant settlement). | <input type="checkbox"/> |
| 2.3 | Significant damage to roof structure. | <input type="checkbox"/> |
| 2.4 | Significant damage / instability of stairwells or egress ways | <input type="checkbox"/> |
| 2.5 | Loose or insecure parapets, and / or chimneys, and / or ornamental features. | <input type="checkbox"/> |
| 2.6 | Loose or insecure debris (bricks, glass etc) | <input type="checkbox"/> |
| 2.7 | Cladding damaged or veneer dislodged
(Insanitary Building, refer Environmental Health) | <input type="checkbox"/> |

3 Consequences of Damage

- | | | |
|-----|--|--------------------------|
| 3.1 | Protection measures (cordons & barriers) in place around the building post earthquake is impeding public right of ways and / or traffic flows. | <input type="checkbox"/> |
| 3.2 | Debris from the property are impeding public right of ways and / or traffic flows. | <input type="checkbox"/> |
| 3.3 | Condition of building is posing a risk to other buildings | <input type="checkbox"/> |

RECOMMENDED FOR WORK TO BE COMPLETED BY / / 2011
Minimum 5 working days from date of this inspection
Maximum of 60 days

Iconic Bar CNR. Manchester & Gloucester Sts

Particulars of Building Damage – relating to building status (red / yellow)

1. Type of Damage

Choose **one** of the following (structural damage takes priority over other types of damage):

- The building has been damaged, and there are structural defects to the building; or
- Damage to parapets, and/or chimneys, and/or ornamental features that may pose a risk to the public and/or adjacent property; or
3. The building has been damaged resulting in potential ingress of water (Insanitary Building, refer Environmental Health).
4. There is a risk that other property could collapse resulting in injury or death to any persons in the building or to persons on other property. (**NOTICE NOT TO BE SERVED**, letter only).

2. Characteristics of Damage

- a. Significant damage to structural walls, party walls, fire walls and / or structural frame (cracking, bowing, failed connections, spalling).
- b. Significant damage to foundations (cracking, significant settlement).
- c. Significant damage to roof structure.
- d. Significant damage / instability of stairwells or egress ways.
- e. Loose or insecure parapets, and/or chimneys, and/or ornamental features.
- f. Loose or insecure debris (bricks, glass etc).
- g. Cladding damaged or veneer dislodged ((Insanitary Building, refer Environmental Health).

If any of the above apply the building meets the definition of a dangerous building:

“The building or parts of the building are likely to collapse without warning, resulting in injury or death to any persons in the building or to persons on other property.”

3. Consequences of Damage (not to be recorded in notice – will indicate resolution date):

- i. Protection measures (cordons and barriers) in place around the building post-earthquake is impeding public right of ways and / or traffic flows.
- ii. Debris from the property are impeding public right of ways and / or traffic flows.
- iii. Condition of building is posing a risk to other buildings.

Building Consent: Required May be required Not required.

Date for work to be resolved: (minimum 10 working days):

- ~~• 15 November if building is impeding traffic flows (use “Traffic Mgmt” Cover Letter)~~
- ~~• 30 November if building is threatening other buildings~~
- ~~• 31 January 2011 (all other notices)~~



CHRISTCHURCH CITY COUNCIL
CCC ENGINEER -EARTHQUAKE
SIGN OFF AND CLOSURE FORM (GREEN)

Address: 204 Manchester Street

CSR Number:

CCC Engineers Actions	Yes / No	Date
Report received from Property Owners Structural Engineer	Yes/No	
Points that must be covered:		Date
1. All items identified in the "particulars" box of the notice issued under Section 124(c) of the Building Act 2004 as inserted by the Canterbury Earthquake (Building Act) Order 2010) for this building have been addressed so as the danger to the public or property has been removed or reduced and the property is satisfactory for public occupation	Yes / No na	
2. Property owners Engineers report states that the entire building has been inspected and is satisfactory for public occupation	Yes / No	
Comments: This building has been certified for occupancy by Saimon Criddle, CPEng. noting the next door building 198 Manchester. 198 Manchester has been certified by Seccor's as O.K. reasonably. CLOSE FILE		
Sign Off – I Accept the property owner's engineer's report that is attached confirms that the work required by the section 124(c) Building Act 2004 notice to reduce or remove the danger has been completed and the property is satisfactory for occupation.	Yes / No	
..... (Signature)		Date
Print name: D O. Higg	0810	22/2/11
Forward to: File archives after closing TRM etc + advising owner		
Team Leader or SEO Enforcement Team Investigations and enforcement Unit		

Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials MURRAY CHAR
 Territorial Authority CHRISTCHURCH CITY Date of Inspection 26/2/11 Time 2:45 PM
 Exterior Only Exterior and Interior

Building Name _____
 Short Name _____
 Address 204 MANCHESTER ST
898840
 GPS Co-ordinates S° _____ E° _____
 Contact Name _____
 Contact Phone _____
 Storeys at and above ground level 2 Below ground level _____
 Total gross floor area (m²) _____ Year built OLD
 No of residential Units _____
 Photo Taken Yes No

Type of Construction
 Timber frame
 Steel frame
 Tilt-up concrete
 Concrete frame
 RC frame with masonry in-fill
 Concrete shear wall
 Unreinforced masonry
 Reinforced masonry
 Confined masonry
 Other:
 Commercial/ Offices
 Industrial
 Government
 Heritage Listed
 Other Retail

Primary Occupancy
 Dwelling
 Other residential
 Public assembly
 School
 Religious

Investigate the building for the conditions listed below:

Overall Hazards / Damage	Minor/None	Moderate	Severe	Comments
Collapse, partial collapse, off foundation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<u>PARTIAL COLLAPSE</u>
Building or storey leaning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wall or other structural damage	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhead falling hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ground movement, settlement, slips	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Neighbouring building hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED GREEN RESTRICTED USE YELLOW UNSAFE RED

Record any restriction on use or entry:

Further Action Recommended:

- Tick the boxes below only if further actions are recommended
- Barricades are needed (state location):
 - Level 2 or detailed engineering evaluation recommended
 - Structural
 - Geotechnical
 - Other recommendations:
 - Other:

BUILDING TO BE DEMOLISHED

Estimated Overall Building Damage (Exclude Contents)

None 0-1 % 2-10 % 11-30 % 31-60 % 61-99 % 100 %

P. CHARLTON 021 625 0278
 Sign here on completion
 Date & Time 26/2/11
 ID _____

Inspection ID _____ (Office Use Only)

7:011 684



















04/03/2011



04/03/2011



04/03/2011





04/03/2011



























nas r
249 Maad

192
the clinic
the heart of the city
Appointment Necessary
Licences
Employment
Checked
LEARN
pharmacy
3-10
ph 03 366 3581 fax 03 366 3581

the pharmacy
192 abbecester st

slip
slap
slap

NO CROSSING ZONE
10PM-5AM
BEGINS

