

Chris Chapman

From: Joy Y-H Chang [yi_hua68@hotmail.com]
Sent: Sunday, 23 January 2011 8:17 p.m.
To: Chris Chapman
Subject: 593 Colombo Street

Importance: High

Hi Chris,

Thanks for the report. My family had a long discussion on what we would like to do with the Colombo Street property going forward after taking into account factors such as the recent earthquakes, our financial situation, market conditions, your reports etc, we have come to a conclusion that we would like to hold off on the repairs of the property and we'd like to take over the property management ourselves while we are deciding what to do with the property.

As we have previously transferred \$8000.00 into the trust account for the evaluation/inspection/repair/management charges, in light of our decision, and due to no formal contract was signed by both parties, could you please let us know exactly how much has been spent thus far (if possible could you please itemised them on a formal tax invoice) and if there is any money over/under up to this point and by how much?

My father and uncle (Frank Lin) are both in ChCh now and they will give you a call sometime this week to have a meeting with you to discuss about any work in progress repairs (if any) and details on the hand over of the property management.

Thanks for all your help on this property, much appreciated.

Pls let me know if you have any questions in the mean time.

regards
Joy Yi-Hua Chang

Chris Chapman

From: Richard Seville [RichardS@holmesgroup.com]
Sent: Friday, 11 February 2011 10:59 a.m.
To: Chris Chapman
Subject: 593 Colombo
Attachments: 593 Colombo St SK1.pdf; 593 Colombo St SK2.pdf; 593 Colombo St SK3.pdf; 593 Colombo St SK4.pdf

Hi Chris,

I've attached mark-ups showing the general concept for strengthening of this building. It has been split into what is required to be done now (for occupancy) and what is required to aim for 67%.

Please note that it is a general concept only to give an idea on budget prices.

Give me a call if you would like to run through it.

○ Regards,

Richard Seville
PROJECT DIRECTOR

Holmes Consulting Group
PO Box 25355 | Christchurch 8144
Phone: +643 366 3366
Email: richards@holmesgroup.com

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○

All dimensions to be worked on site before issuing any shop drawings or commencing any work. The copyright of this drawing remains with Halmes Consulting Group

Concept Design for EQ repairs and required strengthening

1. Required repairs prior to resumption of occupancy. Damaged structure must be restored to its original strength. Damaged non-structural portions shall be removed or replaced.

A) These items are marked in RED.

B) Alternate options for these items are marked in GREEN.

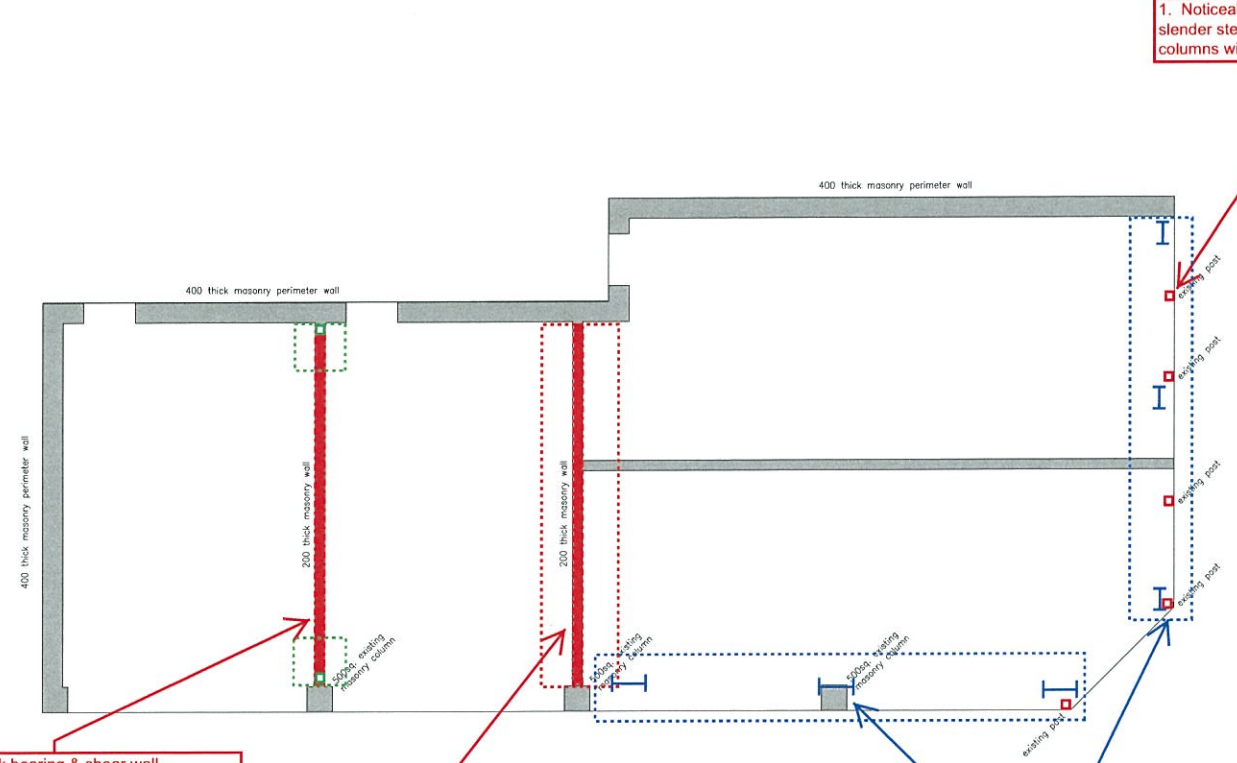
2. Required seismic upgrade to 67%, or as nearly practicable to 67%, by September 2013. These items are marked as BLUE on the plans.

2/2/11 PAR Concept for Pricing

Rev	Date	By	Reason

Consultants

Halmes Consulting Group 	123 Victoria Street PO Box 25215 Christchurch New Zealand Telephone 386 3368 Facsimile 379 2169
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1. Noticeable lateral displacements in slender steel columns. Replace existing columns with 150x150x6 SHS columns.

1. Damaged Brick bearing & shear wall
A) Repair/replace existing damaged brick wall or
B) Remove exist'g damaged wall and place new beam at 1st floor to support 1st floor framing. Support ends of beam with 150x150x6 SHS columns and 1000x1000x 400 deep pad footings.

1. Damaged brick bearing & shear wall. Remove brick wall and replace with 200mm thick concrete wall with 2 - XD12 bars at 400 cns each way. 600x1200 continuous footing below new wall.

2. Upgrading to 67% of current code EQ design forces. Provide 2 - storey steel or concrete moment frames with new reinforced concrete footings below along Colombo and St. Asaph Streets.

note: existing structure shown is indicative only, all dimensions to be measured on site prior to commencement of work. Not all interior walls are shown.

ground floor plan

**593 COLOMBO ST
CHRISTCHURCH**

Drawn	Scale
Approved	App'd File-name
Sheet Title	

ground floor plan

Job No	Sheet No	Rev
105380.71	SK1	1

All dimensions to be verified on site before issuing any shop drawings or commencing any work. The copyright of this drawing remains with Helmesc Consulting Group

Concept Design for EQ repairs and required strengthening

1. Required repairs prior to resumption of occupancy. Damaged structure must be restored to its original strength. Damaged non-structural portions shall be removed or replaced.

A) These items are marked in **RED**.

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2. Required seismic upgrade to 67%, or as nearly practicable to 67%, by September 2013. These items are marked as **BLUE** on the plans.

2/2/11 PAR Concept for Pricing

Rev | Date | By | Reason

Computers

HelmescConsultingGroup

123 Victoria Street
 P.O. Box 25355
 Christchurch
 New Zealand

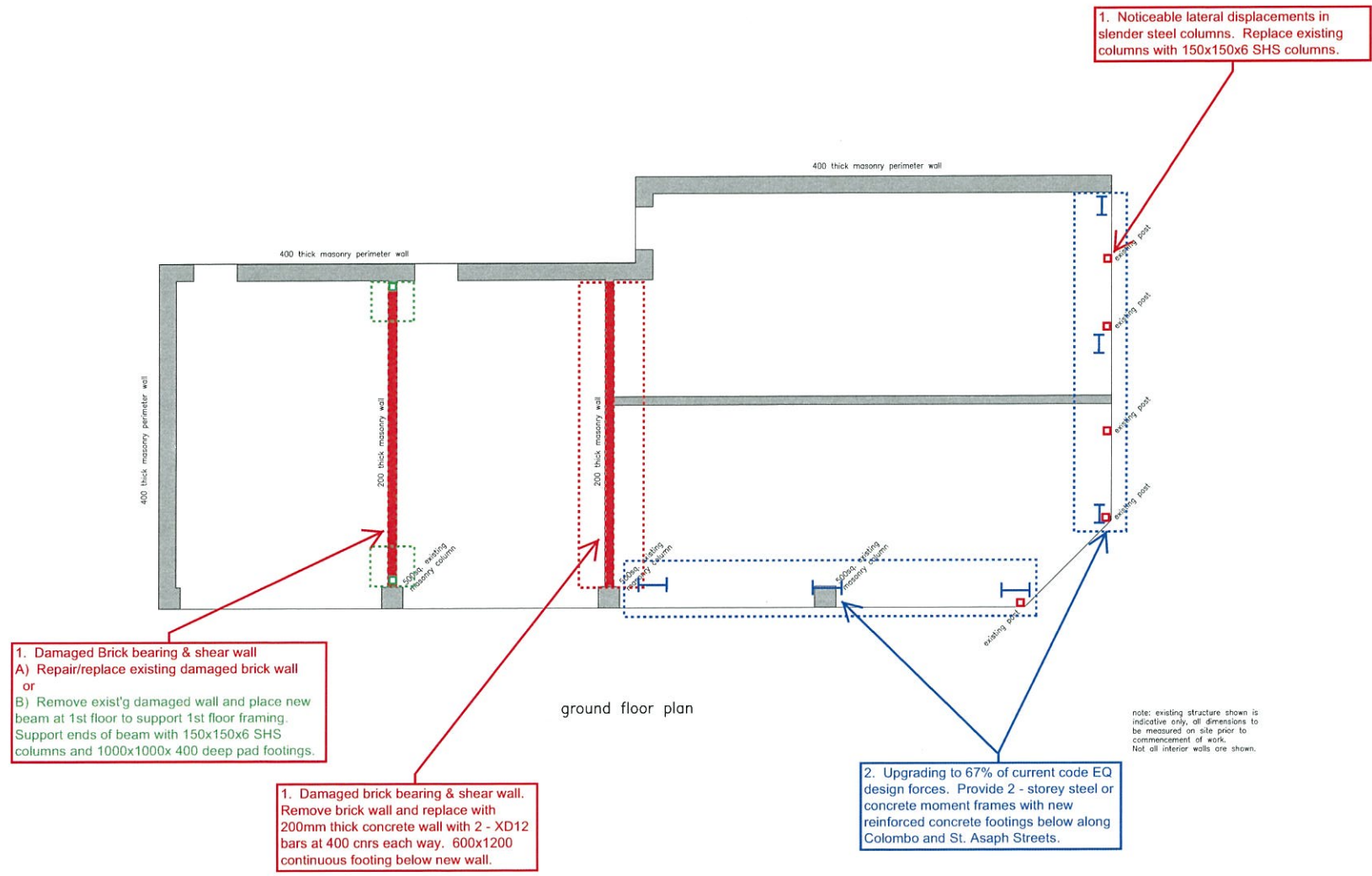
Telephone
 356 3366
 Facsimile
 379 2169

**593 COLOMBO ST
CHRISTCHURCH**

Drawn: _____ Scale: _____
 Approved: _____ Archd: _____
 Sheet Title: _____

ground floor plan

Job No.	Sheet No.	Rev.
105380.71	SK1	1



1. Damaged Brick bearing & shear wall
 A) Repair/replace existing damaged brick wall or
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ground floor plan

All dimensions to be verified on site before making any other drawings or commencing any work. The copyright of this drawing remains with Halmes Consulting Group.

Concept Design for EQ repairs and required strengthening

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2/2/11 PAR Concept for Pricing

Rev	Date	By	Reason

Consultants

HalmesConsultingGroup



123 Victoria Street
PO Box 25355
Christchurch
New Zealand
Telephone
366 3366
Facsimile
374 2169

**593 COLOMBO ST
CHRISTCHURCH**

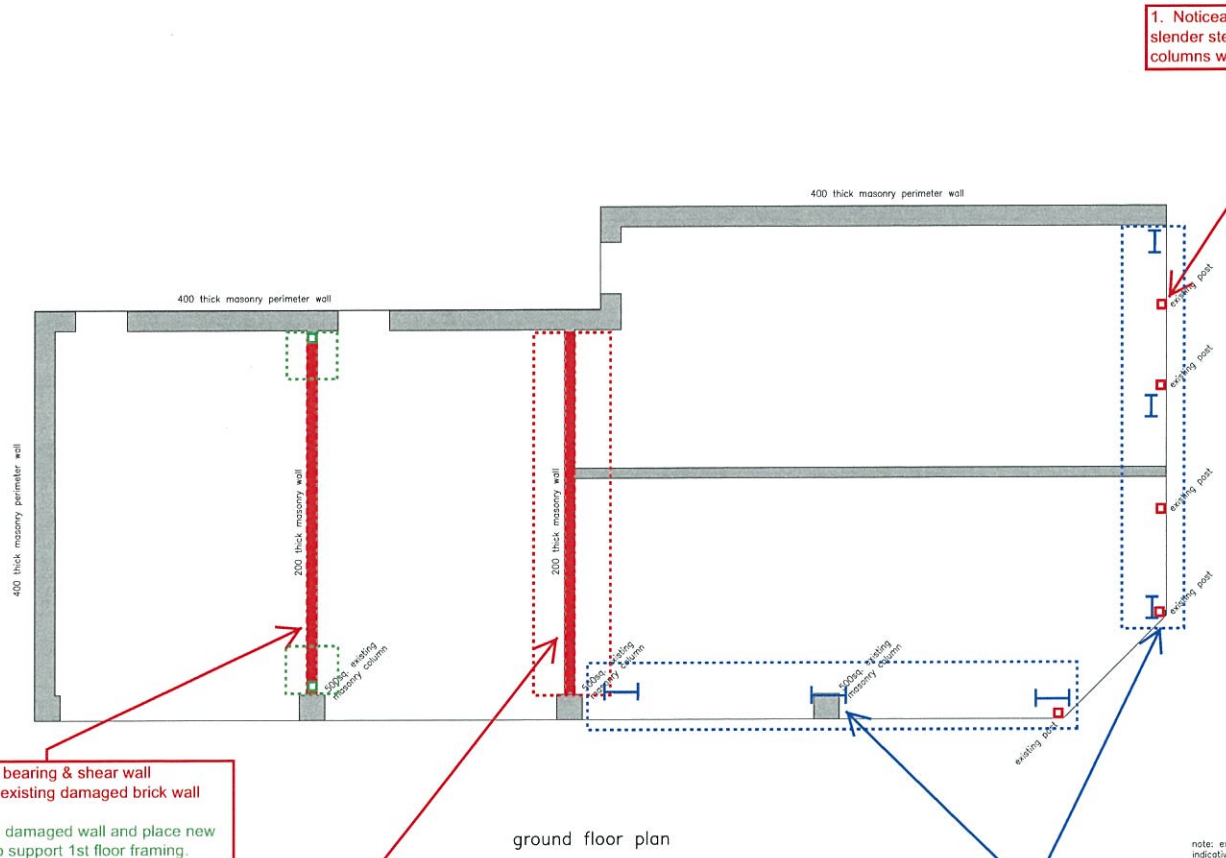
Drawn: _____ Scale: _____

Approved: _____ Area: _____

Sheet Title: _____

ground floor plan

Job No	Sheet No	Rev
105380.71	SK1	1



1. Damaged Brick bearing & shear wall
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1. Noticeable lateral displacements in slender steel columns. Replace existing columns with 150x150x6 SHS columns.

ground floor plan

Chris Chapman

From: Chris Chapman
Sent: Tuesday, 15 February 2011 9:22 a.m.
To: 'Joy Y-H Chang'; 'Bowen Chang'
Subject: 593 Colombo Street
Attachments: Repair and Strengthen Sketches.pdf

Hi Joy and Bowen

Attached please find sketch plans showing

- Required repairs to enable re-tenanting -red
- Required works to strengthen the building to the 67% building code – blue

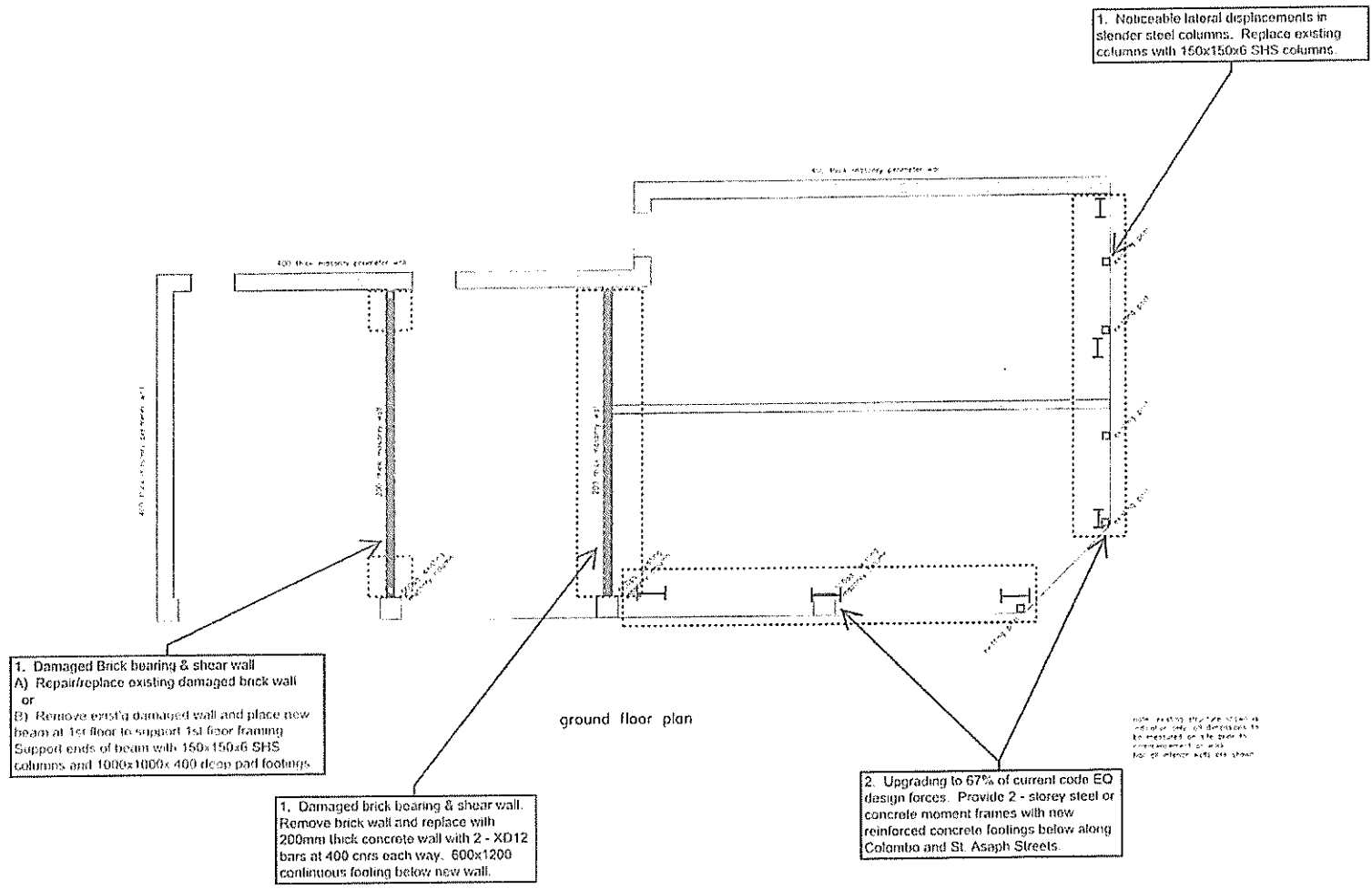
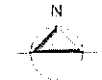
I have passed these plans on to a contractor to put together a price for the two stages of works

Regards
Chris

 **Chris Chapman**
Commercial Property Manager

Grenadier Real Estate Ltd, MREINZ, Licensed Agent REAA 2008
271 Madras Street, PO Box 1825, Christchurch 8140, New Zealand
P +64 3 371 9126 M +64 274 715 619 F +64 3 371 9189
E chris.chapman@naiharcourts.co.nz www.naiharcourts.co.nz





Concept Design for EO repairs and required strengthening

- Required repairs prior to resumption of occupancy. Damaged structure must be restored to its original strength. Damaged non-structural portions shall be removed or replaced
 - A) These items are marked in RED
 - B) Alternate options for these items are marked in GREEN
- Required seismic upgrade to 67%, or as nearly practicable to 67%, by September 2013. These items are marked as BLUE on the plans

2/2/11 PAR Concept for Pricing

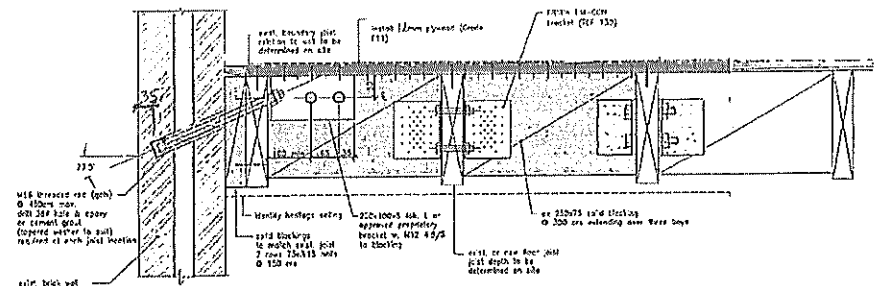
HolmesConsultingGroup	
Client	...
Project	...
Phase	...
Location	...
Date	...

593 COLOMBO ST
CHRISTCHURCH

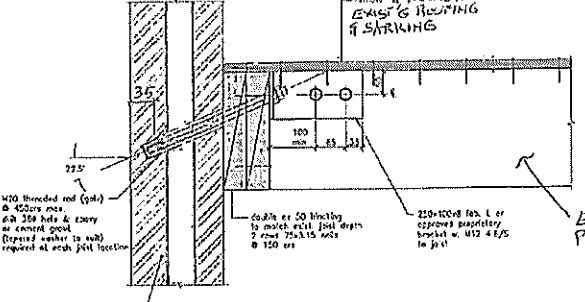
ground floor plan

Client Ref	105380.71	SK1	1
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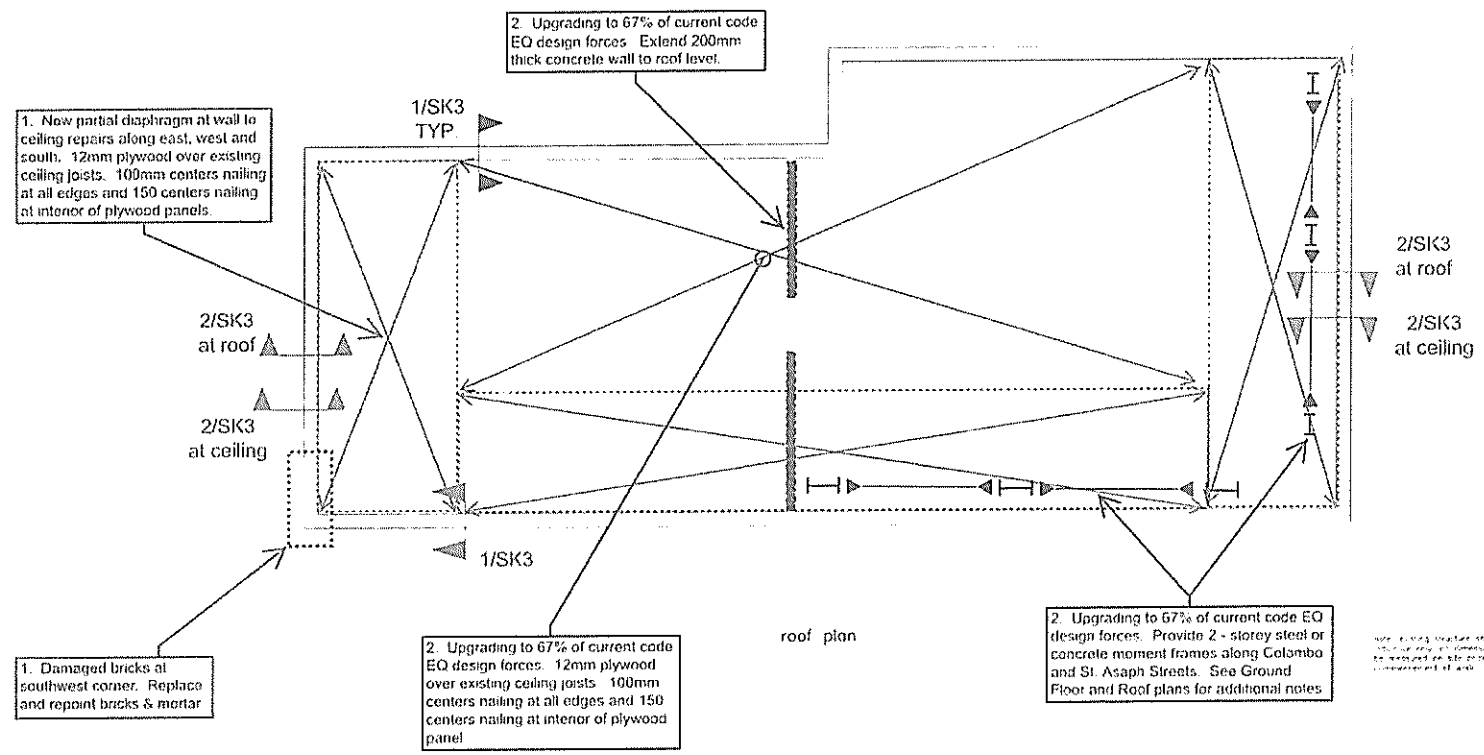
HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup/HulmeConsultingGroup



1 SK3 Typical CEILING/wall diaphragm connection joists parallel to wall (heritage ceiling below)



2 SK3 Ext. **Roof**/wall diaphragm connection, **Roof PURLINS** perpendicular to wall (note: detail occurs at '25mm nail spacing' locations)



Concept Design for EQ repairs and required strengthening

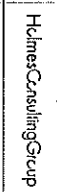
1. Required repairs prior to resumption of occupancy. Damaged structure must be restored to its original strength. Damaged non-structural portions shall be removed or replaced.

A) These items are marked in RED.

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2. Required seismic upgrade to 67%, or as nearly practicable to 67%, by September 2013. These items are marked as BLUE on the plans.

2/2/11 PAR Concept for Pricing



593 COLOMBO ST
CHRISTCHURCH

roof plan

105380.71 SK3 1

Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group Holmes Consulting Group

2/2/11 PAR Concept for Pricing

Concept Design for EQ repairs and required strengthening

1. Required repairs prior to resumption of occupancy. Damaged structure must be restored to its original strength. Damaged non-structural portions shall be removed or replaced.

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2/2/11 PAR Concept for Pricing

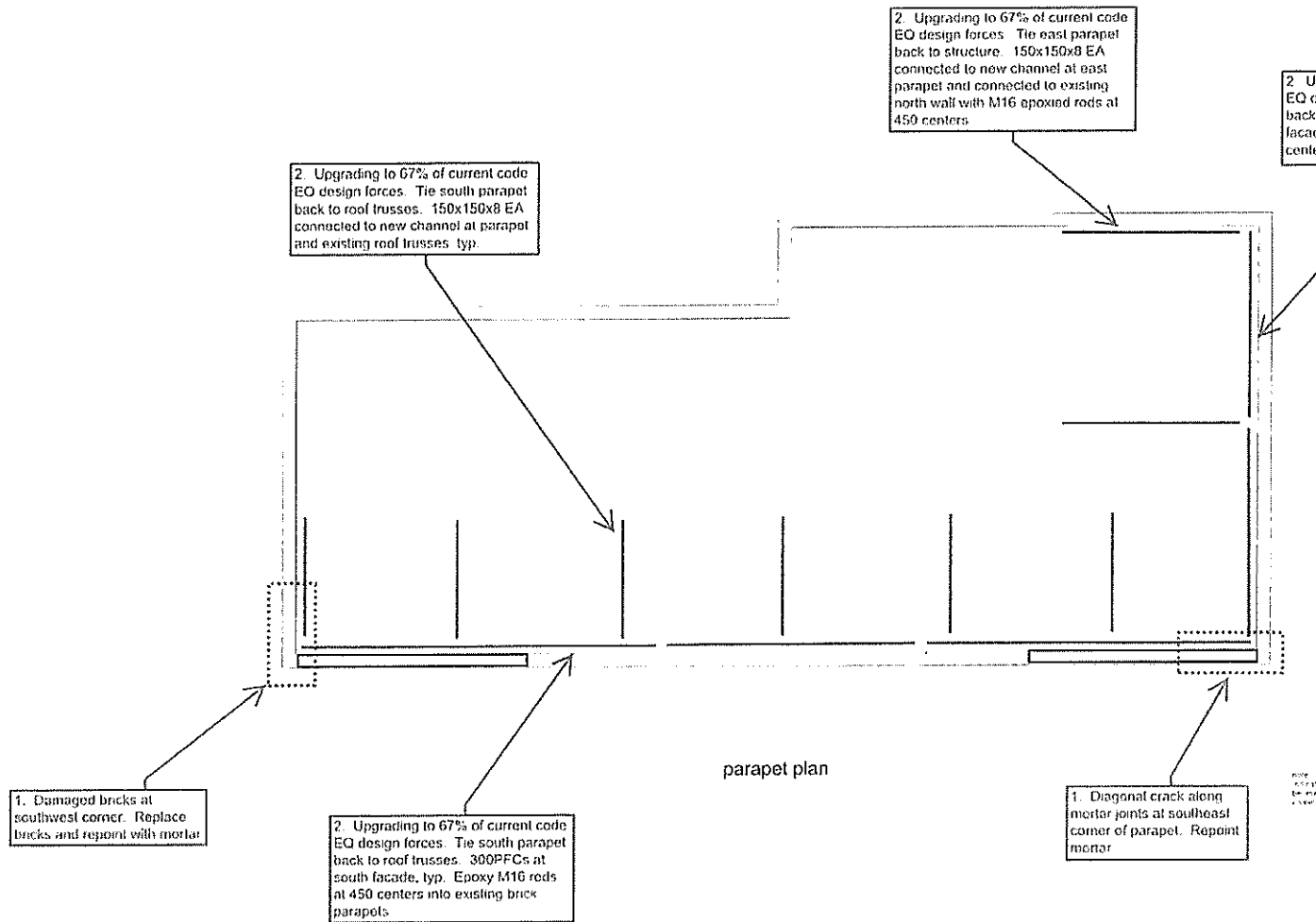
NO.	DESCRIPTION	QUANTITY	UNIT	AMOUNT
1	REPAIRS			
2	SEISMIC UPGRADE			
3	TOTAL			

593 COLOMBO ST
CHRISTCHURCH

Scale: 1:50
Project: 593 Colombo St
Client: [Redacted]

parapet plan

NO.	DESCRIPTION	QUANTITY	UNIT	AMOUNT
105380.71	SK4	1		



note: existing structure shall be repaired only, all dimensions to be measured on the ground by a licensed surveyor.

Chris Chapman

From: Chris Chapman
Sent: Tuesday, 15 February 2011 9:26 a.m.
To: 'Thompson, Scott'
Subject: 593 Colombo Street
Attachments: Repair and Strengthen Sketches.pdf

Hi Scott

Attached please find some sketch plans from Holmes Consulting for

1. Required repairs to enable the building to be re-tenanted (red)
2. Works required to bring the building up to 67% of the code by 2013 (blue)

Can you please put together budgets for both projects

Thanks
Chris

Chris Chapman
Commercial Property Manager

Grenadier Real Estate Ltd, MREINZ, Licensed Agent REAA 2008
271 Madras Street, PO Box 1625, Christchurch 8140, New Zealand
P +64 3 371 9126 M +64 274 715 819 F +64 3 371 9189
E chris.chapman@naiharcourts.co.nz www.naiharcourts.co.nz



07 OCT 2010



Holmes Consulting Group

INTERNET
TAX INVOICE
15/09/2010

HC, WSS, CY & YH Chang
C/- Harcourts Property Management
PO Box 1625
CHRISTCHURCH 8140

Project 105380.71
Tax Invoice 105380.71/1
Date 30 September, 2010
GST 53-194-478

Project 105380.71 HARCOURTS - 593 COLOMBO ST - EQ INSPECT

C59
531.56
220
1

Fee in accordance with ACENZ/IPENZ Model Conditions of Engagement. Our fee on a time basis as agreed.

Professional Services from 1 September, 2010 to 30 September, 2010

	Hours	Rate	Amount
Project Director	.50	195.00	97.50
Project Engineer	2.50	150.00	375.00
Total Labour			\$472.50

Goods and Services Tax \$59.06

Total this Invoice \$531.56

Authorised

Richard Seville

PAID
04 JUL 2011

Holmes Consulting Group Limited, Level 5, 123 Victoria Street, PO Box 25355, Christchurch 8144, New Zealand, 03 366 0866

PAYMENT DUE 20 DAYS FROM INVOICE DATE

Pay by Direct Credit to ANZ Christchurch 01-0797-0322049-000 - Please quote the Reference number on your payment

Ref: 105380.71/1 Client: HC, WSS, CY & YH Chang
Date: 30 September 2010 Remittance: \$531.56

Please Detach & Return to:

PERMITTANCE ADVICE
Holmes Consulting Group Limited
PO Box 25355
Christchurch 8144
New Zealand
accounts@hcgconsulting.com

09 NOV 2010



Holmes Consulting Group

COPY

TAX INVOICE

HC, WSS, CY & YH Chang
 C/- Harcourts Property Management
 PO Box 1625
 CHRISTCHURCH 8140

Project 105380.71
 Tax Invoice 105380.71/2
 Date 31 October, 2010
 GST 53-194-478

Project 105380.71 HARCOURTS - 593 COLOMBO ST - EQ INSPECT

DATE PAID
 1,250.63
 AUTHORIZED
 To Accounts

Fee in accordance with ACENZ/IPENZ Model Conditions of Engagement. Our fee on a time basis as agreed. 220

Fee now due for reinspection of building and advice on temporary shoring measures.

Professional Services from 1 October, 2010 to 27 October, 2010

	Hours	Rate	Amount
Project Director	2.50	195.00	487.50
Project Engineer	4.00	150.00	600.00

Total Labour \$1,087.50

Goods and Services Tax \$163.13

Total this Invoice \$1,250.63

Authorised

Richard Seville

Holmes Consulting Group Limited, Level 5, 123 Victoria Street, PO Box 25355, Christchurch 8144, New Zealand, T +64 3 366 3366

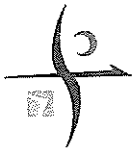
PAYMENT DUE 20 DAYS FROM INVOICE DATE

Pay by Direct Credit to ANZ Christchurch 01-0797-0322049-000 - Please quote the Reference number on your payment

Ref: 105380.71/2 Client: HC, WSS, CY & YH Chang
 Date: 31 October 2010 Remittance: \$1,250.63

Please Detach & Return to:

REMITTANCE ADVICE
 Holmes Consulting Group Limited
 PO Box 25355
 Christchurch 8144
 New Zealand



15 MAR 2011

TAX INVOICE

Holmes Consulting Group

HC, WSS, CY & YH Chang
 C/- Harcourts Property Management
 PO Box 1625
 CHRISTCHURCH 8140

Project 105380.71
 Tax Invoice 105380.71/4
 Date 22 February, 2011
 GST 53-194-478

Project 105380.71 HARCOURTS - 593 COLOMBO ST - EQ INSPECT

Fee in accordance with ACENZ/IPENZ Model Conditions of Engagement. Our fee on a time basis as agreed.

Fee now due for continuing inspection of building and advice on temporary shoring measures.

Professional Services from 1 February, 2011 to 22 February, 2011

	Hours	Rate	Amount
Project Director	2.00	195.00	390.00
Project Engineer	18.00	150.00	2,700.00
Engineer	1.00	125.00	125.00
Project Draughtsperson	1.00	125.00	125.00
Total Labour			\$3,340.00

Reimbursable Expenses

Other reimbursable costs			
28/1/11 Christchurch City Council - Resource Con			26.69
Total Reimbursables		26.69	26.69

Goods and Services Tax \$505.00

Total this Invoice \$3,871.69

Authorised

Richard Seville

Holmes Consulting Group Limited, Level 2, 50 Customhouse Quay, PO Box 942, Wellington 6140, New Zealand, T +64 4 471 2292

PAYMENT DUE 20 DAYS FROM INVOICE DATE

Pay by Direct Credit to ANZ Christchurch 01-0797-0322049-000 - Please quote the Reference number on your payment

Ref: 105380.71/4 Client: HC, WSS, CY & YH Chang
 Date: 22 February 2011 Remittance: \$3,871.69

REMITTANCE ADVICE

Please Detach & Return to: Holmes Consulting Group Limited
 PO Box 942
 Wellington 6140
 New Zealand
 accounts@holmesgroup.com



24 MAR 2011

Please make cheques payable to Spotless Services (NZ) Ltd at the address below:

Spotless Services (NZ) Ltd
 Spotless Facilities Maintenance
 PO Box 9266
 Addington
 Christchurch 8002

H-C Chang, S-S Chang Wu, C Yen Chang and Y-H Chang
 C/- NAI Harcourts
 PO Box 1625
 Christchurch
 Christchurch 8001

Attention: Chris Chapman
 Ph: 03 371 9126

Spotless Services (NZ) Ltd, GST Reg. NO. 13 478 198

ORIGINAL TAX INVOICE

Amount due: **\$3,659.76**

Date issued: **23-MAR-2011**

Please quote invoice no. with claims/payments

Invoice No: **A00084833**

Order Number: **2010-1233**

Account No: **84581224**

Payment Terms: **30 DAYS**

Enquiries To: *[Signature]*

Details GST Amount

593 Colombo Street Our Reference: 5501

Docket Order Number: 2010- 1233

Docket No.	Raised	Target	Completed	Location
R155636	01/12/2010	08/12/2010	21/03/2011	

Site: 593 Colombo Street
 Item:

Request Type: MINOR
 Client Item Ref.:

Space:
 Location:
 Fault Type:

Job Description: Carry out inspection on the building as per Harcourts and Holmes Consulting.

Work Done: Attended site and cut holes for the engineer to carry out inspection.

Called back to site at a later date and cut more holes for the engineer.

Supplied scissor hoist to allow access on the roof for the inspections.

Sub: \$3182.40

Purchases :	Subcontractor :	Builder	\$1,856.40
	Project management		\$1,326.00

477.36 3,182.40

Handwritten notes:
 C59
 \$3,659.76
 15/4/11
 15/4/11

Sub Total \$3,182.40
 GST \$477.36

Total Amount Payable \$3,659.76

Grenadier Real Estate Ltd
General Ledger Transaction Listing
Ordered By G/L Code, Property, Transaction Type
From 01-09-2010 To 31-10-2011

Property: 593 Colombo Street (C59)
 Creditor: From 0800 Handyman - Mike Southworth (0800HA) To Zydeco Cafe & Bar
 Transaction Type: From Grazing and/or Cropping (001) To Washup (WUP)

Date	Source	Name	Reference	Description	Opening	Debit	Credit	Net
400 Operating Expenses Control								
593 Colombo Street C59								
220 Insurance - Excess								
30-11-2010	Creditor Charge Nonrecoverable	Holmes Consulting Group Limited (HOLCON)	105380.71/2	Earthquake inspection for October		1087.50		
15-12-2010	Creditor Charge Nonrecoverable	Holmes Consulting Group Limited (HOLCON)	105380.71/1	Earthquake Inspection - September		462.23		
21-03-2011	Creditor Charge Nonrecoverable	Holmes Consulting Group Limited (HOLCON)	105380.71/4	Earthquake inspection. Professional services for the period 01.02.11-22.02.11		3366.69		
01-04-2011	Creditor Charge Nonrecoverable	Spotless Facilities Maintenance A00084833 (ASSSCH)		2010-1233 Stage 1 - tempy repairs Stage 2 - refurb grnd floor Stage 3 - strenghtening design, 1st floor refurb proposal Stage 4 - undertaking strenghtening and 1st floor refurb		3182.40		
01-07-2011	Creditor Charge Nonrecoverable	Holmes Consulting Group Limited (HOLCON)	105380.71/3	EQ Inspection		547.50		
08-09-2011	Creditor Charge Nonrecoverable	Holmes Consulting Group Limited (HOLCON)	105380.71/3C	Reversing invoice - sent to owner for payment			547.50	
				220 Insurance - Excess Total		8646.32	547.50	8098.82
				593 Colombo Street C59 Total		8646.32	547.50	8098.82
				400 Operating Expenses Control Total		8646.32	547.50	8098.82
				Grand Total		8646.32	547.50	8098.82